



COLLABORATIVE REAL ESTATE

KAREN E. WILLISON, RLP LOCATIONS NORTH BROKERAGE



Listing Information Package

16 Centre Street, Meaford



KAREN E. WILLISON Sales Representative
705-888-0075 | kwillison@royalpage.ca



LOCATIONS NORTH





CollaborativeRealEstate.ca



5+ Acres



1595 sq. ft.



1 Bed



1 Bath



KAREN E. WILLISON
 WORKING TOGETHER & HELPING YOU IS WHAT WE DO
 kwillison@royallepage.ca
 Cell: (705) 888-0075
 www.CollaborativeRealEstate.ca

16 CENTRE Street, Meaford, Ontario N4L 1E8

Client Full
Active / Residential

16 CENTRE St Meaford

MLS® #: 40386877
 Price: **\$499,000**

Grey/Meaford/Meaford

1.5 Storey/House



	Beds	Baths	Kitch
Main	1	1	1

Beds (AG+BG): **1 (1 + 0)**
 Baths (F+H): **1 (1 + 0)**
 SF Fin Total: **1,596**
 AG Fin SF Range: **1501 to 2000**
 AG Fin SF: **1,596/Other**
 DOM/CDOM: **0/0**
 Common Interest: **Freehold/None**
 Tax Amt/Yr: **\$1,878.00/2023**

Remarks/Directions

Public Rmks: **Attention builders / renovators / developers and anyone looking to create their dream home with a country feel that's only a 2 minute car ride from town. The quiet neighbourhood setting is idyllic with a 5+ acre parcel backing onto a huge mature evergreen forest with a trail that meanders to Trout Hollow Trail on the Big Head River. Ready to rebuild or reno the existing single dwelling and also development opportunities: see the planners report under the 'documents' folder for additional details. A large flat buildable area at the front of the property opens up many possibilities to utilize the land. With lots of sun for raised gardens and frequent visits from deer and other wildlife, you can enjoy the beautiful surroundings on your property while still having access to the thriving waterfront community of Meaford and all of it's amenities & culture.**

Directions: **Hwy 26 to James Crescent, left on Burton Street which turns into Farrar Street, Right on Union Street, left on Louisa Street which turns into Centre Street, to house on right.**

Cross St: **Louisa Street**

Common Elements

Locker:

Balcony:

Exterior

Exterior Feat: **Backs on Greenbelt**
 Construct. Material: **Brick**
 Shingles Replaced: **2015** Foundation: **Poured Concrete** Roof: **Asphalt Shingle**
 Year/Desc/Source: **/Estimate/** Prop Attached: **Detached**
 Property Access: **Municipal Road, Paved Road** Apx Age: **16-30 Years**
 Other Structures: **Shed** Rd Acc Fee:
 Pool Features: **None** Winterized:
 Garage & Parking: **Private Drive Double Wide//Gravel Driveway**
 Parking Spaces: Driveway Spaces: **6.0** Garage Spaces:
 Services: **Cable TV Available, Electricity, Garbage/Sanitary Collection, High Speed Internet Avail, Natural Gas, Recycling Pickup, Telephone Available**
 Water Source: **Municipal-Metered** Water Tmnt: Sewer: **Septic**
 Lot Size Area/Units: / Acres Range: **5-9.99** Acres Rent:
 Lot Front (Ft): **412.00** Lot Depth (Ft): **561.00** Lot Shape: **Irregular**
 Location: **Urban** Lot Irregularities: **See GeoWarehouse** Land Lse Fee:
 Area Influences: **Downtown, Golf, Greenbelt/Conservation, Hospital, Library, Open Spaces, Place of Worship, Quiet Area, River/Stream, School Bus Route, Schools, Shopping Nearby, Skiing Trees/Woods** Retire Com:
 View: **Open space, Partially Cleared, Wooded/Treed** Fronting On: **West**
 Topography: Restrictions: **Environmentally Protected** Exposure: **East**
 School District: **Bluewater District School Board, Bruce-Grey Catholic District School Board**
 High School: **Georgian Bay CS, St. Mary's High, Pretty River Academy**
 Elementary School: **Georgian Bay CS, St. Basil's, Notre Dame, Pretty River Academy**

Interior

Interior Feat: **Water Heater**
 Basement: **Crawl Space** Basement Fin: **Unfinished**
 Laundry Feat: **Main Level**
 Cooling: **None**
 Heating: **Fireplace-Gas, Forced Air, Gas**
 Fireplace: **1/Living Room, Natural Gas** FP Stove Op:
 Under Contract: **Hot Water Heater** Contract Cost/Mo:
 Inclusions: **Dryer, Refrigerator, Stove, Washer**
 Exclusions: **None**

Property Information

Common Elem Fee: **No**
Legal Desc: **LT 468 PL 309 MEAFORD; PT LT 467 PL 309 MEAFORD AS IN R528532; MEAFORD**
Zoning: **D, EP**
Assess Val/Year: **\$281,000/2022**
PIN: **371210292**
ROLL: **421049200224300**
Possession/Date: **Flexible/**

Local Improvements Fee:
Survey: **Unknown/**
Hold Over Days: **120**
Occupant Type: **Owner**
Deposit: **Minimum 5%**

Brokerage Information

List Date: **03/14/2023**
List Brokerage: **Royal LePage Locations North (Collingwood Unit B) Brokerage** 

Source Board: The Lakelands Association of REALTORS®
Prepared By: Karen E. Willison, Salesperson
Date Prepared: 03/14/2023

Information deemed reliable but not guaranteed. CoreLogic Matrix
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MLS® #: 40386877

<u>Room</u>	<u>Level</u>	<u>Dimensions</u>	<u>Dimensions (Metric)</u>	<u>Room Features</u>
Kitchen	Main	10' 11" X 10' 2"	3.33 X 3.10	
Living Room	Main	10' 6" X 19' 7"	3.20 X 5.97	
Dining Room	Main	10' 11" X 6' 4"	3.33 X 1.93	
Family Room	Main	10' 11" X 13' 11"	3.33 X 4.24	
Bedroom	Main	17' 0" X 12' 7"	5.18 X 3.84	
Bathroom	Main	6' 2" X 8' 5"	1.88 X 2.57	4-Piece
Mud Room	Main	11' 9" X 5' 4"	3.58 X 1.63	
Workshop	Main	21' 2" X 18' 9"	6.45 X 5.72	
Other	Second	16' 11" X 29' 4"	5.16 X 8.94	

Desc: **Unfinished and Not Enclosed**

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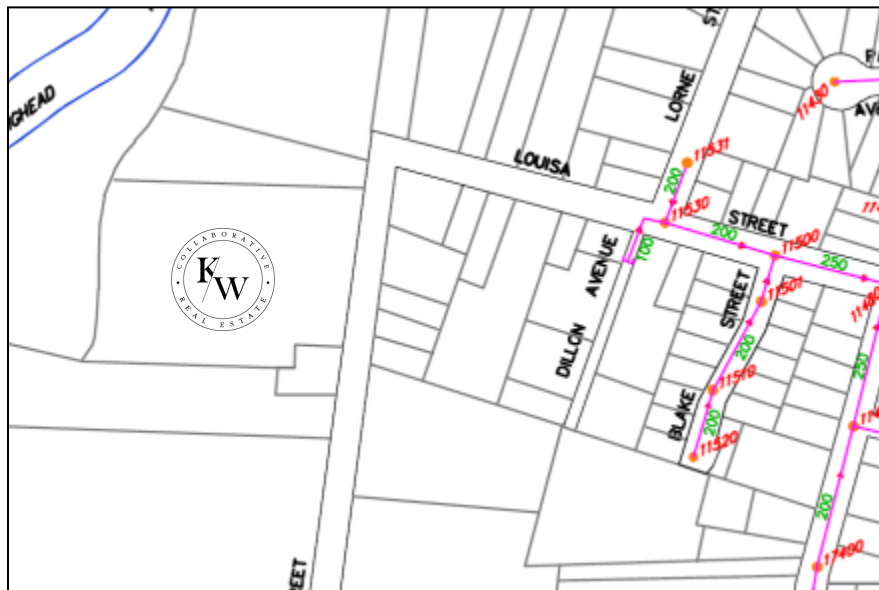
KAREN E. WILLISON, RLP LOCATIONS NORTH BROKERAGE

Severability Information from Planning Services, Municipality of Meaford

Regarding 16 CENTRE Street, Meaford, Ontario we would like to clarify that the lands cannot be severed at this time. Lands in the urban area can only be severed where there is water and sewer available. This property is not serviced by sewer at this time. Should someone be interested in Severing, they should be aware they would be required to provide a full sewer extension to the property at their cost. The extension would be at a size to accommodate the rest of the street for further extensions.

Denise McCarl - Manager of Planning Services, Municipality of Meaford

Sewer Location Map (pink lines):





COLLABORATIVE
REAL ESTATE

Expense/Utility/House Details

16 Centre Street, Meaford

House Details

Item	Year	Notes
Year Home was Built	Unknown	
Windows	2015	2nd story addition only
Roof	2015	2nd story addition started
Furnace	Unknown	

Fees and Utility Costs

Utility	Yearly Cost	Provider
Current Property Taxes	\$1,878.00	Town of Meaford
Insurance Premium	\$2,265.00	First Insurance
Gas	\$1,092.70	Enbridge
Hydro	\$2,220.00	Hydro One
Rental Equipment Contracts	\$400.20	Reliance
Water/Sewer	\$900.00	Town of Meaford
Internet/Cable Provider	\$1,200.00	Rogers

Rental Equipment

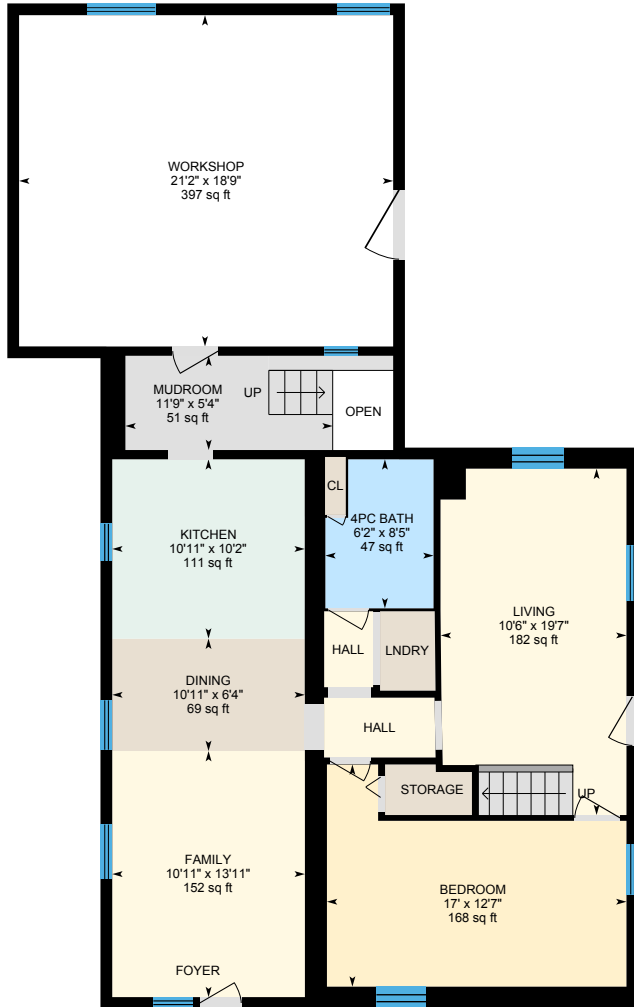
Item	Provider	Contact/Notes
Hot Water Heater	Reliance	

Appliances

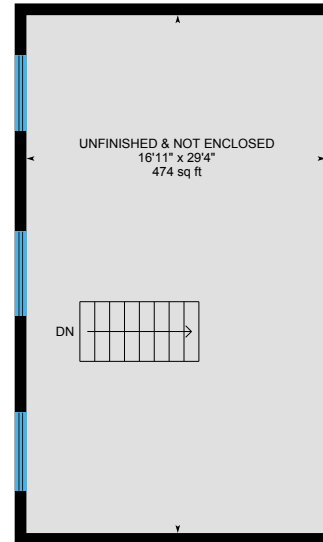
Appliance	Make/Model	Year/Notes
Refrigerator	General Electric	
Stove/Oven	Frigidaire	
Washer	Frigidaire	
Dryer	Frigidaire	

16 Centre St, Meaford, ON

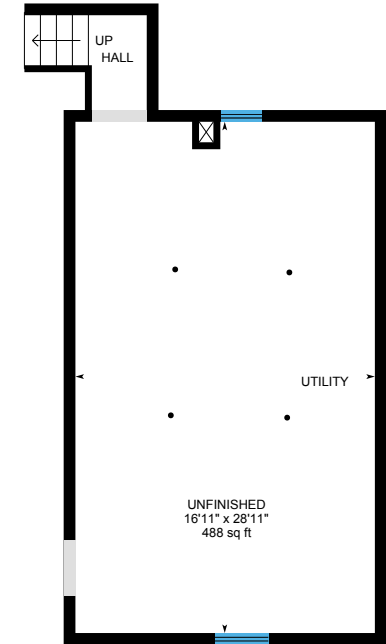
Main Building: Total Exterior Area Above Grade 1595.55 sq ft



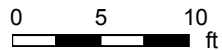
Main Floor
Exterior Area 1035.54 sq ft



2nd Floor
Exterior Area 560.01 sq ft

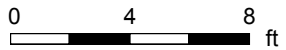
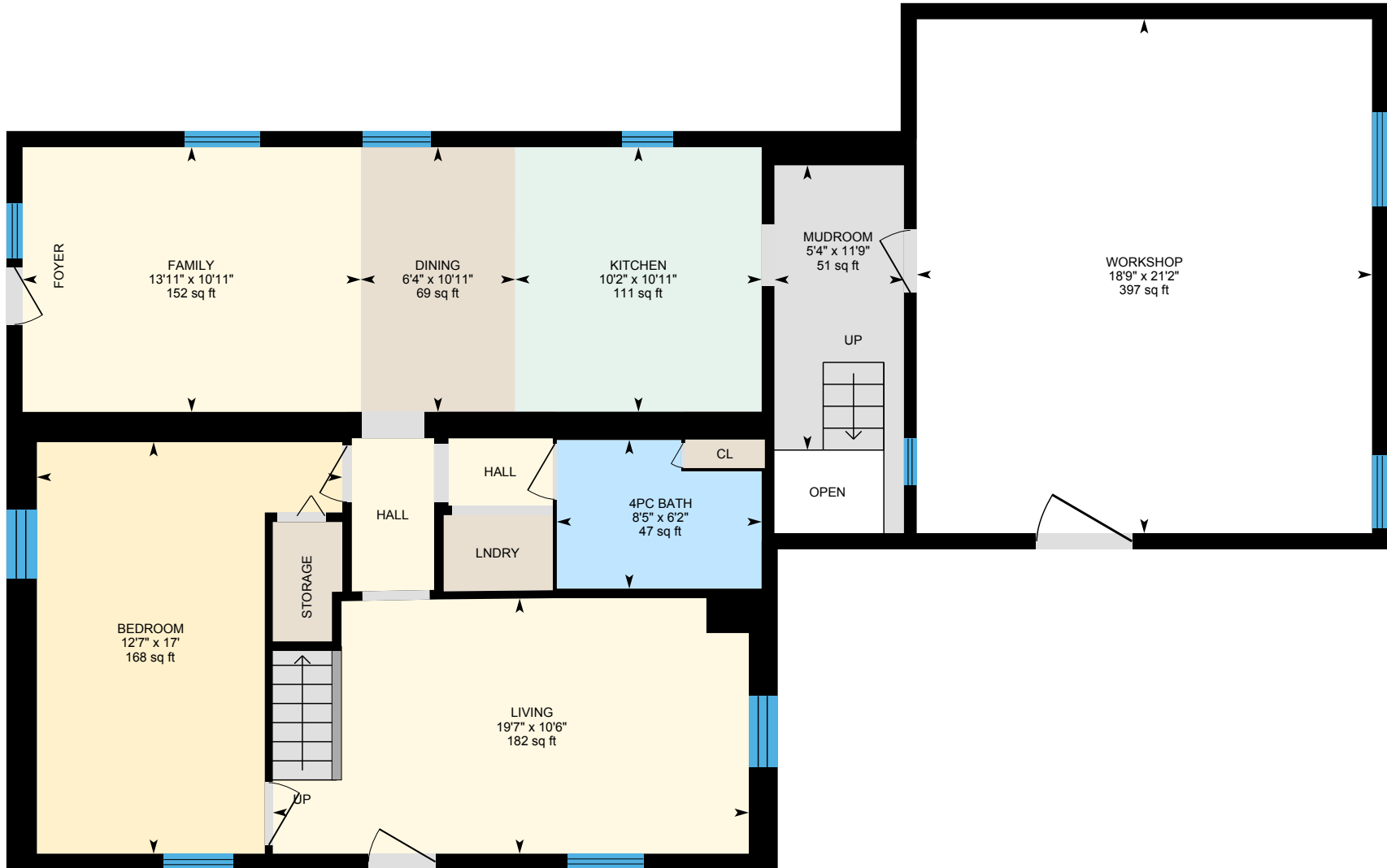


Crawl Space (Below Grade)
Exterior Area 73.53 sq ft



16 Centre St, Meaford, ON

Main Floor Exterior Area 1035.54 sq ft
Interior Area 949.08 sq ft
Excluded Area 456.41 sq ft



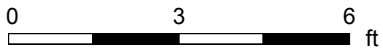
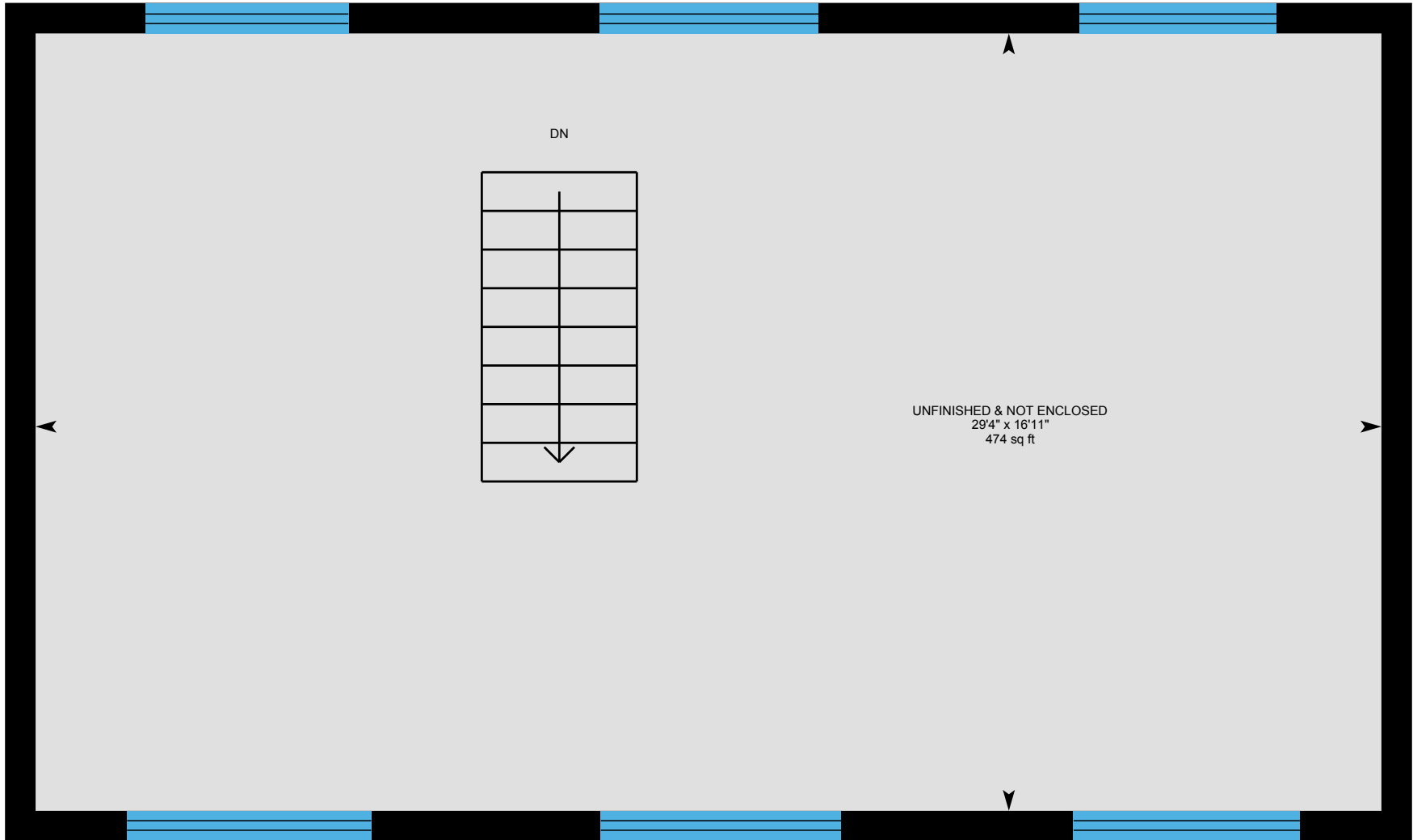
PREPARED: 2023/03/10



White regions are excluded from total floor area in iGUIDE floor plans. All room dimensions and floor areas must be considered approximate and are subject to independent verification.

16 Centre St, Meaford, ON

2nd Floor Exterior Area 560.01 sq ft
Interior Area 496.62 sq ft

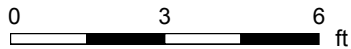
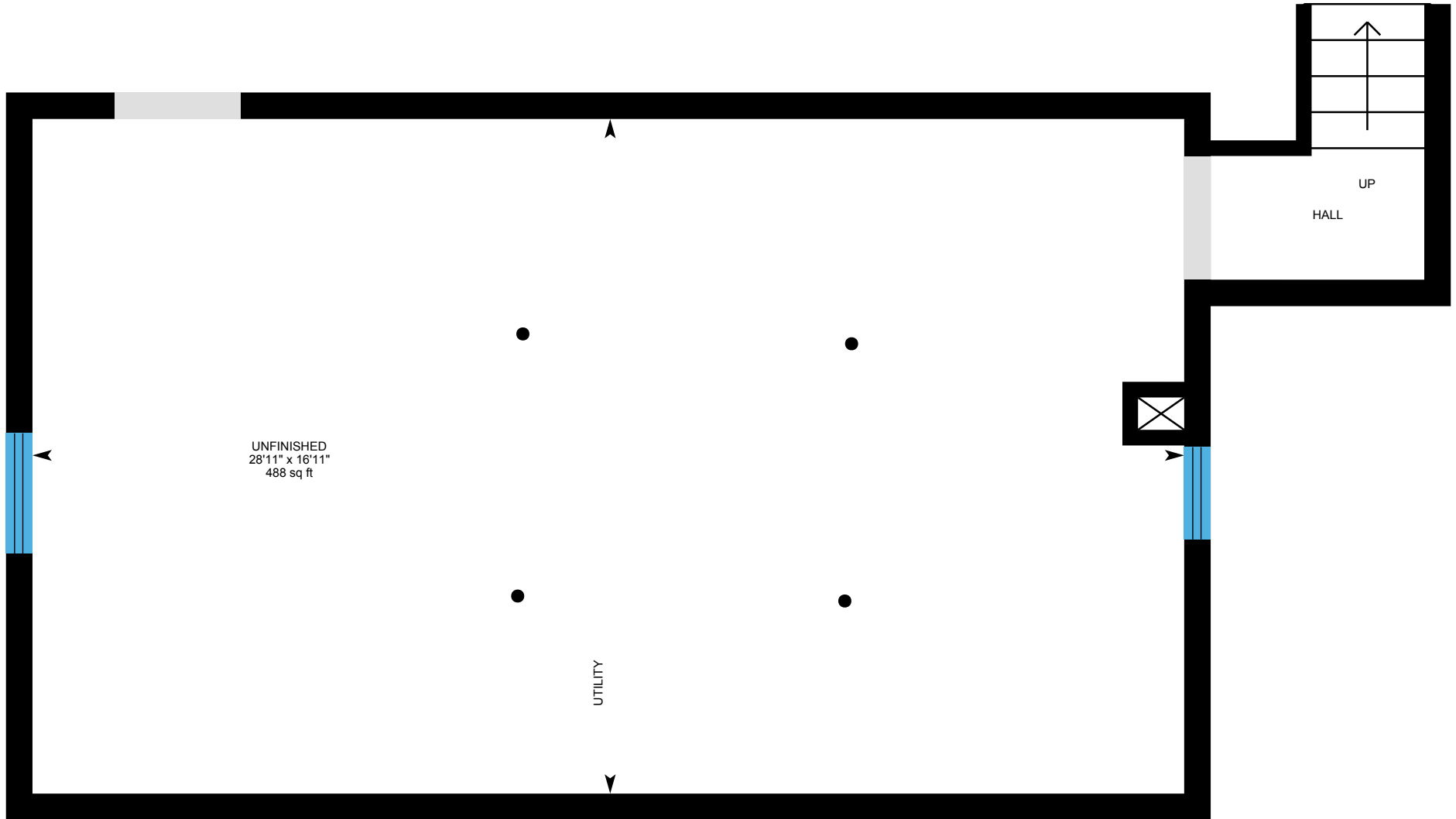


PREPARED: 2023/03/10



16 Centre St, Meaford, ON

Crawl Space (Below Grade) Exterior Area 73.53 sq ft
Excluded Area 520.40 sq ft



PREPARED: 2023/03/10



16 Centre St, Meaford, ON

Property Details

Room Measurements

Only major rooms are listed. Some listed rooms may be excluded from total interior floor area (e.g. garage). Room dimensions are largest length and width; parts of room may be smaller. Room area is not always equal to product of length and width.

Main Building

MAIN FLOOR

4pc Bath: 6'2" x 8'5" | 47 sq ft
Bedroom: 17' x 12'7" | 168 sq ft
Dining: 10'11" x 6'4" | 69 sq ft
Family: 10'11" x 13'11" | 152 sq ft
Kitchen: 10'11" x 10'2" | 111 sq ft
Living: 10'6" x 19'7" | 182 sq ft
Mudroom: 11'9" x 5'4" | 51 sq ft
Workshop: 21'2" x 18'9" | 397 sq ft

2ND FLOOR

Unfinished & Not Enclosed: 16'11" x 29'4" | 474 sq ft

CRAWL SPACE

Unfinished: 16'11" x 28'11" | 488 sq ft

Floor Area Information

Floor areas include footprint area of interior walls. All displayed floor areas are rounded to two decimal places. Total area is computed before rounding and may not equal to sum of displayed floor areas.

Main Building

MAIN FLOOR

Interior Area: 949.08 sq ft
Excluded Area: 456.41 sq ft
Perimeter Wall Thickness: 8.0 in
Exterior Area: 1035.54 sq ft

2ND FLOOR

Interior Area: 496.62 sq ft
Perimeter Wall Thickness: 8.0 in
Exterior Area: 560.01 sq ft

CRAWL SPACE (Below Grade)

Excluded Area: 520.40 sq ft
Perimeter Wall Thickness: 8.0 in
Exterior Area: 73.53 sq ft

Total Above Grade Floor Area, Main Building

Interior Area: 1445.71 sq ft
Excluded Area: 456.41 sq ft
Exterior Area: 1595.55 sq ft

16 Centre St, Meaford, ON

iGUIDE Method of Measurement

Definitions

Interior Area is a per floor calculation, made by measuring to the inside surface of the exterior walls. The footprint of all interior walls and staircases is typically included.

Excluded Area is a sum of the area of all rooms (measured to the inside surface of room walls) that are excluded from the Interior Area for a floor and the footprint of corresponding walls. Prescribed area exclusions can vary from region to region. Examples of exclusions are spaces open to below, garages, cold cellars, crawl and reduced height spaces.

Exterior Wall Footprint is the sum of the estimated area of the perimeter wall segments bounding both Interior and Excluded Areas.

Exterior Area is a per floor calculation, made by measuring to the outside surface of the exterior walls and is represented by the sum of the Interior Area and the Exterior Wall Footprint.

Grade is the ground level at the perimeter of the exterior finished surface of a house. A floor is considered to be above grade if its floor level is everywhere above grade.

Total Interior Area is the sum of all Interior Areas.

Total Excluded Area is the sum of all Excluded Areas.

Total Exterior Area is the sum of all Exterior Areas.

Finished Area is a per floor calculation made by adding all enclosed areas in a house that are suitable for year-round use based upon their location, embodying walls, floors, and ceilings and which are similar to the rest of the house. Footprint of walls is attributed to finished area only when the walls are bounding finished areas.

Unfinished Area is a per floor calculation made by adding all enclosed areas that do not meet the criteria for Finished Area. Exceptions are outdoor and non-walkable areas, for example porches or areas open to below. Footprint of walls is attributed to unfinished area only when the walls are exclusively bounding unfinished areas.

Notes

For exterior walls that are adjacent to the outside of the property, where typically only the interior side has measurement data, an estimation of the exterior wall thickness (as directly measured at the property) is used to calculate its footprint. Considerations are not made for varying wall thickness along the perimeter.

Disclaimer

All dimensions and floor areas must be considered approximate and are subject to independent verification.

PDF Floor Plans

A. RECA RMS 2017: Color is used to indicate all included areas. Excluded and not reported areas are shown in white. Walls are always shown in black.

B. ANSI Z765 2021: Color is used to indicate all finished areas. Unfinished and not reported areas are shown in white. Walls are always shown in black.

More Information About the Standards

A. RECA RMS 2017: <https://www.reca.ca/licensees-learners/tools-resources/residential-measurement-standard>

B. ANSI Z765 2021: <https://www.homeinnovation.com/z765>

16 Centre Street, Meaford, Ontario

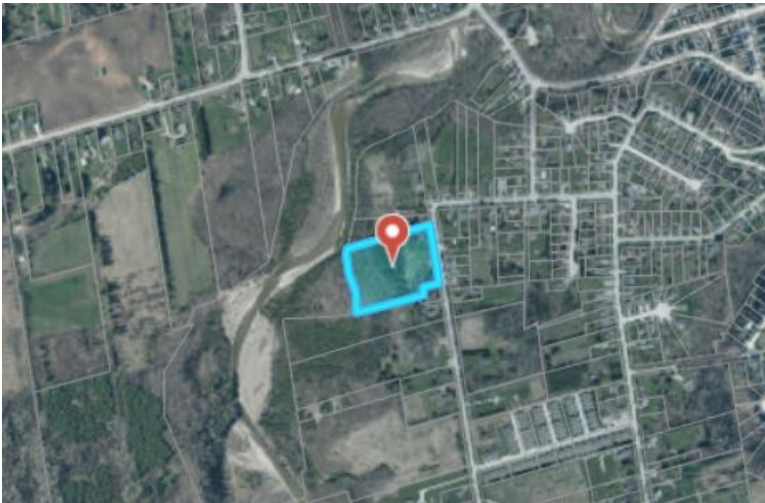
1.0 Purpose and Scope

Georgian Planning Solutions was retained to provide an overview of the planning policies and regulations affecting lands referred to as 16 Centre Street in the Municipality of Meaford in the County of Grey.

This report outlines applicable land use policy and zoning regulations affecting the subject property.

2.0 Subject Lands Description

The subject lands are located within the Municipality of Meaford in Grey County. The Municipal address is 16 Centre Street. The property is legally described as Plan 309, Lot 468 Pt Lot 467.



Krystin Rennie
Land Use Planner
Principal

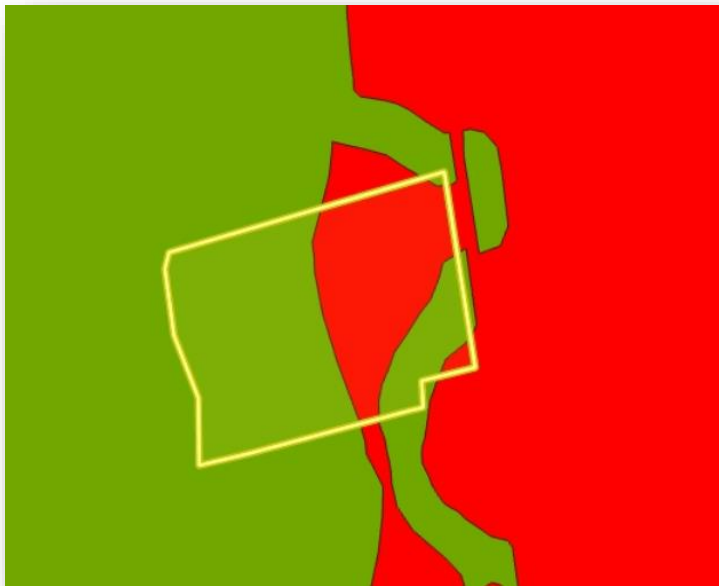
Office 705.446.0530
Mobile 705.606.7526
krennie@georgianplanning.ca

3.0 Current Planning Status

3.1 County of Grey Official Plan


The subject lands are designated “Primary Settlement Area” and “Hazard” within the Schedule A Land Use Map 1 in the County of Grey Official Plan and are within the settlement area within Meaford.

The majority of growth within Grey County will be directed to settlement areas. Development within settlement areas will occur on full municipal services, where available. Primary Settlement Areas are larger settlements with full municipal servicing, and a wide range of uses, services, and amenities which are intended to be the primary target for residential and non-residential growth.



Hazard Lands include floodplains, steep or erosion prone slopes, organic or unstable soils, poorly drained areas, and lands along the Georgian Bay shoreline. These lands can be impacted by flooding, erosion, and/or dynamic beach hazards or have poor drainage, or any other physical condition that is severe enough to pose a risk for the occupant, property damage, or social disruption if developed. While these lands are intended to be regulated so as to avoid natural hazards, they also contribute to the natural environment within the County. New development shall generally be directed away from Hazard lands.



 Significant Woodlands

A significant portion of the property is considered Significant Woodland – no development or site alteration may occur within Significant Woodlands or their adjacent lands unless it has been demonstrated through an **environmental impact study**, that there will be no negative impacts on the natural features or their ecological functions.

3.2 Municipality of Meaford Official Plan

The subject lands are currently designated Urban Living Area and Environmental Protection in Meaford Official Plan (Schedule A-1 Land Use) The Urban Living Area applies to developed lands on full municipal sewer and water services and undeveloped lands proposed to be serviced by full municipal sewer and water in the Meaford urban area.



Urban Living Area EP_Amend

Permitted uses in the Urban Living Area include: single detached dwellings; accessory apartments in single-detached dwellings; semi-detached dwellings; duplex dwellings; townhouse, multiple and apartment dwellings; home occupations; bed and breakfast establishments in single detached dwellings; private home daycare for up to five children; and, complementary uses such as residential care facilities, daycare centres, small-scale institutional uses and local commercial

The objectives of the Urban Living Area is to:

- maintain compatibility and where necessary, enhance the character and identity of existing residential areas;
- encourage the provision of a full range of housing opportunities to meet the Municipality's projected housing needs;
- promote the efficient use of existing and planned infrastructure by creating the opportunity for various forms of residential intensification, where appropriate;
- ensure that residential areas permit a variety of complementary and compatible land uses;
- promote a built form that contributes to a healthy community.

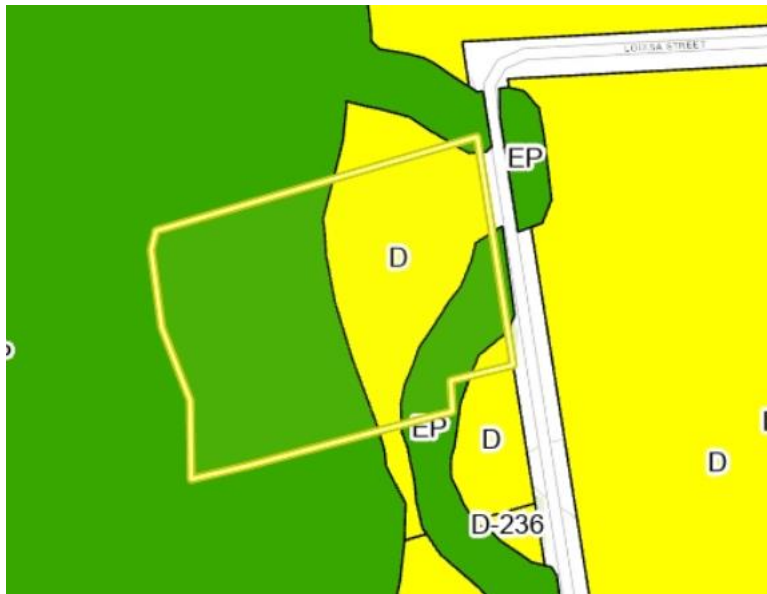
The lands that are designated Environmental Protection might require an Environmental Impact Study completed to note the impact or nonimpact of proposed development on the natural feature.

In order to support achieving the growth targets, Meaford's Official Plan establishes that as a minimum target, 10% of new growth in the primary settlement area of Meaford is to be achieved through intensification. An overall average development density of 25 units per hectare shall be achieved for new development within the Urban Area.

3.3 Zoning

The subject lands are currently zoned Development (D) and Environment Protection (EP) in the Meaford Zoning By-Law 60-2009.

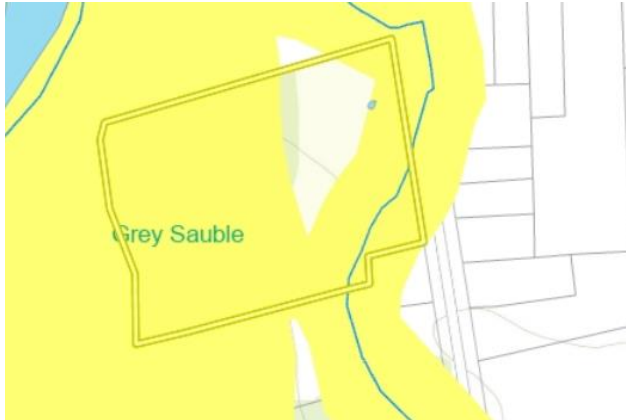
Permitted uses within the Development (D) are uses existing on the day of the passing of the zoning by-law.



A zoning by-law amendment would be required to develop the property for residential uses or any other settlement area permitted use.

3.4 Grey Sauble Conservation Authority

A portion of the subject property falls within the Grey Sauble Conservation Authority (GSCA) Regulated Areas (yellow area). In order to construct within the regulated area, a fill permit would be required from the GSCA.

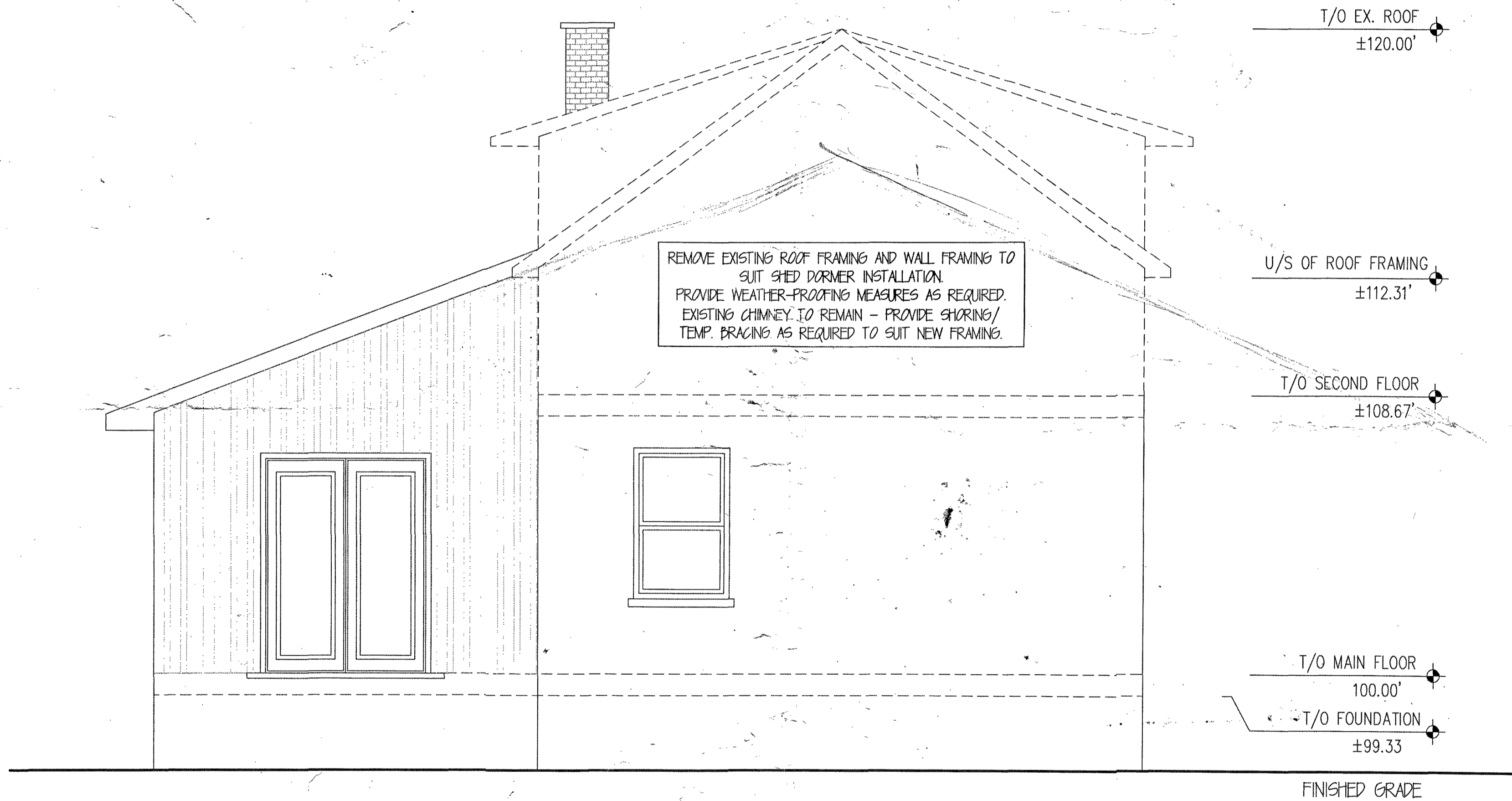


4.0 Conclusion

The subject lands are currently designated Urban Living Area and Environmental Protection and zoned Development and Environmental Protection. In order to develop the property for more than on single detached dwelling would require a zoning By-law Amendment. To support the application the municipality would require various studies to support a development, which would likely include an Environmental Impact Study, Archaeological Assessment, engineering reports (Functional Servicing, Storm Water Management) etc. A Pre-consultation application would allow for further discussion related to opinions on this site.

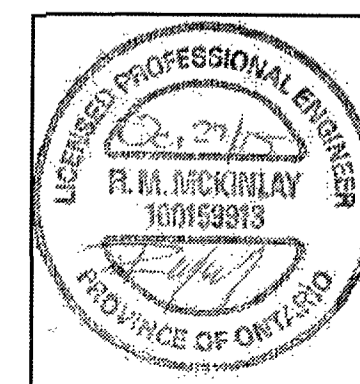
The large area that is zoned Development is approximately 1.8 acres in size and the smaller area is approximately 0.05 acres.

I am not sure about municipal servicing in this area and was not able to confirm with the municipal staff



REMOVE EXISTING ROOF FRAMING AND WALL FRAMING TO
 SUIT SHED DORMER INSTALLATION.
 PROVIDE WEATHER-PROOFING MEASURES AS REQUIRED.
 EXISTING CHIMNEY TO REMAIN - PROVIDE SHORING/
 TEMP. BRACING AS REQUIRED TO SUIT NEW FRAMING.

EXISTING ELEVATION
 SCALE: 1/8"=1'-0"



PROJECT: HOUSE RENOVATION STICKS AND STONES DESIGN 16 Centre St., Meaford, ON, N4L 1E8	FILE NO.: 15-001	
	DRAWN: SDB	SHEET:
EXISTING DEMO / BUILDING ELEVATION	CHECK: RMM	D1.0
	OCTOBER 27 2015	

ATTIC VENTING: PROVIDE FOR MIN 1/200 VENT AREA

TYPICAL CEILING CONST.
CELLULOSE INSUL.
6mil POLY VAPOUR BARRIER
1/2" GYPSUM BOARD

CHIMNEY TO BE ABOVE NEW RIDGE TYP. PER OPC 92144.

TYP. ROOF ASSEMBLY:
35 YEAR ASPHALT SHINGLES
1/2" PLYWOOD SHEATHING OR 3/8"
PLYWD W/ H-CLIPS
2X12 SPF No.1/No.2 @ 16" OC.
R35 BLOW INSULATION
6mil POLY VAPOUR BARRIER
1/2" GYPSUM BOARD

PROVIDE MIN 48" ICE&WATER MEMBRANE AT EAVE PROVIDE RAFTER BATTENS AT EAVE

2x6 FASCIA BOARD
PRE-FIN METAL SOFFIT C/W SEAMLESS GUTTER

WALL ASSEMBLY:
WD. SIDING
1" AIRSPACE
R5 CODE BOARD INSULATION (AIR BARRIER)
METAL WIND BRACING WHERE REQUIRED
2X6 SPF No.1/No.2 @ 16" OC.
R20 BATT INSUL
6mil POLY VAPOUR BARRIER
1/2" GYPSUM BOARD

PORCH ROOF ASSEMBLY:
35 YEAR ASPHALT SHINGLES
1/2" PLYWOOD SHEATHING
3/4" T&G EXPOSED FROM U/S
2X6 ROUGH SAWN No.1
CENTRE LINE BLOCKING

2x6 FASCIA BOARD
PRE-FIN METAL SOFFIT C/W SEAMLESS GUTTER
H4 RAFTER CLIP BY S.S.T.

TIMBER FRAME PORCH (SEE PLAN FOR SIZES)

2X10 SPF No.1/No.2 PT LEDGER W/ 1/2" DIA MASONRY ANCHORS/ BOLTS @ 12" OC. STAGGERED VERT. MIN 4" EMBEDMENT (MASONRY)

DECK FRAMING (SEE PLAN FOR DETAILS)

SADDLE CONNECTION TO POST BY S.S.T.

BUILT-UP BEAM (SEE PLAN FOR DETAILS)

PT POST W/ PIER SADDLE BY S.S.T.

"BIGFOOT" PIER (SEE PLAN FOR DIA)

T/O ROOF
±122.00'

T/O WALL
±116.50'

T/O SECOND FLOOR
±108.67'

T/O MAIN FLOOR
100.00'

T/O FOUNDATION
±99.33

U/S PIER
MIN 93.00'

[2]-2x11 1/8" LVL RIDGE
PROVIDE SIMPSON S.T. HANGERS TO SUIT RAFTER FRAMING S.D. @ WALL
PROVIDE 2X6 SPF No.1/No.2 COLLAR @ EVERY RAFTER THRU-BOLT W/ [1]-1/2" DIA
PROVIDE 2X6 CENTRE LINE BRIDGING X-BRACE TO ROOF DECK AT EACH END TYP.
PROVIDE 2X6 SPF No.1/No.2 C/W PLYWOOD SPACER TYP. EA. STUD SPACE H4 CLIP BY S.S.T. AT RAFTER CONNECTION CONT. FLASHING AT ROOF TRANSITION TYP.

EXISTING SECOND FLOOR ASSEMBLY TO REMAIN
EXISTING WALL ASSEMBLY TO REMAIN
JOIST HANGER TYP.

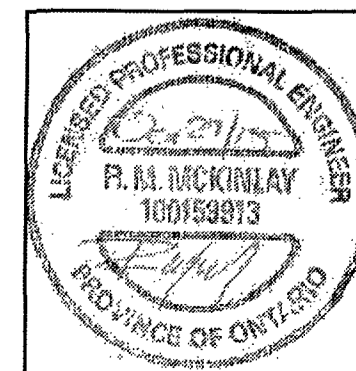
NOTE: AT EDGE OF DORMER FRAMING PROVIDE TRIPLE RAFTER MBR AND PROVIDE CLIP CONNECTION TO SUIT.

SLOPE
FINISHED GRADE

UNDISTURBED / NATIVE

FRAMING SECTION

SCALE: 3/8"=1'-0"



PROJECT:
HOUSE RENOVATION
STICKS AND STONES DESIGN
16 Centre St., Meaford, ON, N4L 1E8

FILE NO.: 15-001

DRAWN: SDB

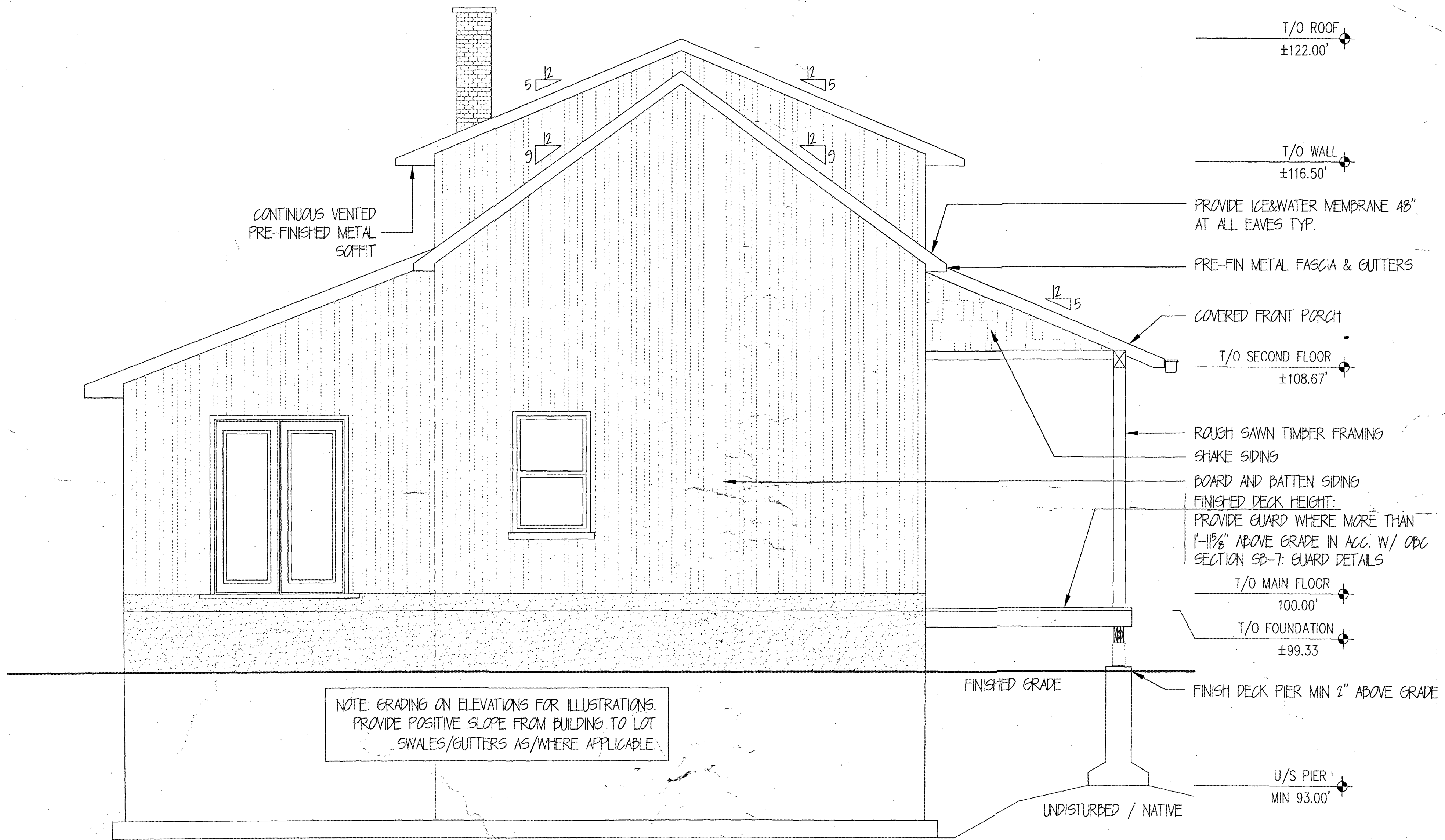
SHEET:

FRAMING SECTION

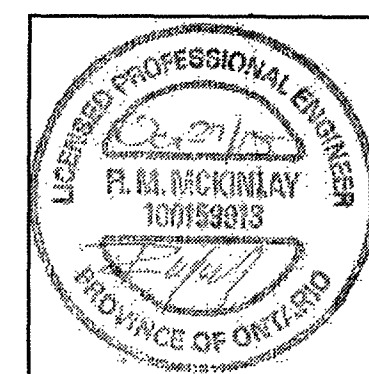
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A3.0

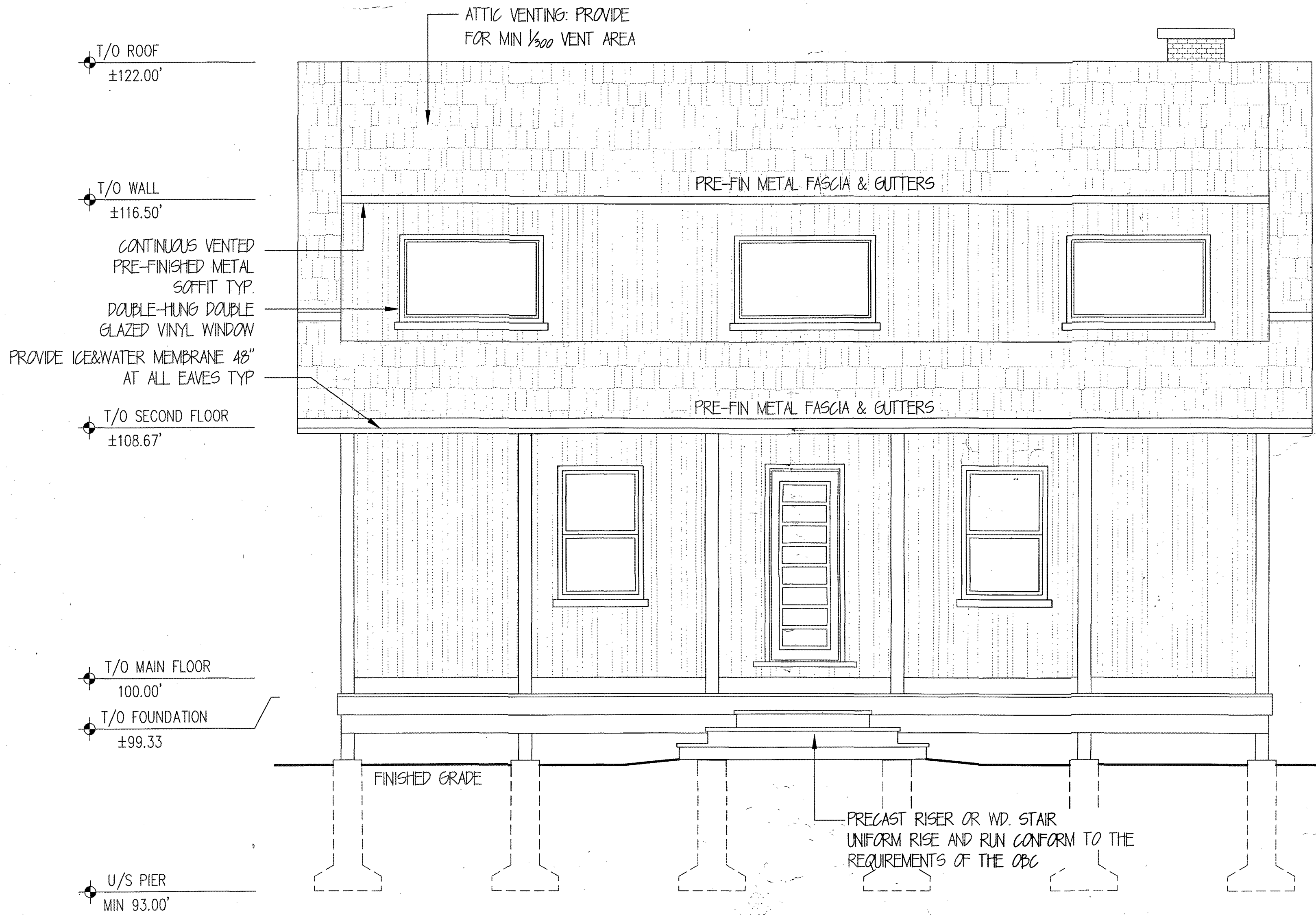
OCTOBER 27 2015



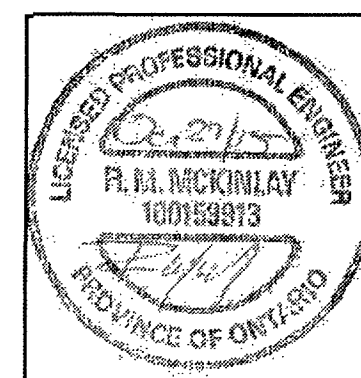
SIDE ELEVATION
 SCALE: 1/4"=1'-0"



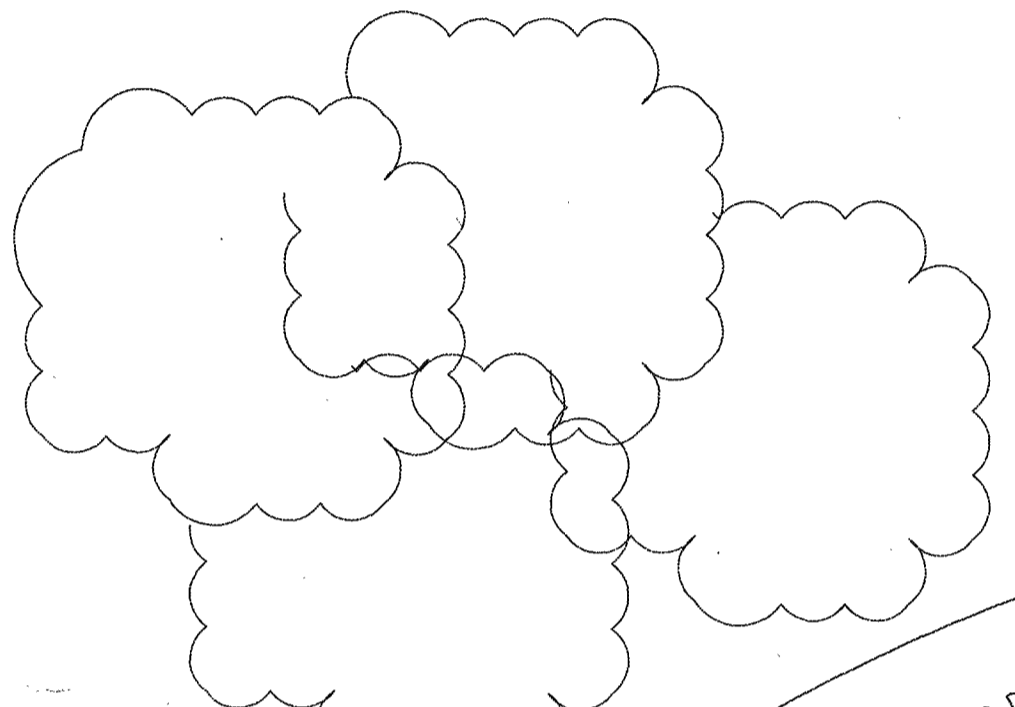
PROJECT: HOUSE RENOVATION STICKS AND STONES DESIGN 16 Centre St., Meaford, ON, N4L 1E8	FILE NO.: 15-001	SHEET: A2.0
	DRAWN: SDB	
BUILDING ELEVATION	CHECK: RMM	
OCTOBER 27 2015		



FRONT ELEVATION
SCALE: 3/8"=1'-0"



PROJECT: HOUSE RENOVATION STICKS AND STONES DESIGN 16 Centre St., Meaford, ON, N4L 1E8	FILE NO.: 15-001	SHEET: A1.0
	DRAWN: SDB	
FRONT ELEVATION	CHECK: RMM	
	OCTOBER 27 2015	

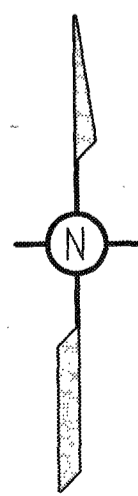


16 CENTRE STREET PROPOSED RENOVATION REMOVE EXISTING ROOF FRAMING AND PROVIDE NEW DORMER ROOF FRAMING AND PORCH FRAMING

CENTRE STREET

EXISTING DRIVEWAY

56'



FOUNDATIONS

All foundation footings shall bear on undisturbed soils. Assume compact sand minimum bearing capacity of 50kPa.

Protect existing foundations from loss of support during construction of new footings.

All footings subject to freezing carried down a minimum of 1200 mm below final grade.

Stepped footings constructed at locations shown on the drawings. With slope of step a maximum rise to run ratio of 1 to 2 unless noted otherwise. Soil supporting footings and slabs shall be protected from freezing before and after concrete is poured.

Backfilling and compaction of walls/ piers shall not take place until floor framing is in place.

CONCRETE

All concrete work has been designed in accordance with CAN/CSA-A23.1-04. Concrete requirements are as follows:

Mix Location	Min. Strength @ 28 Days	Slump [mm]	Air Content
Footings	20 MPa	80 +/- 10	-
Foundation Walls	25 MPa	100 +/- 20	3% - 6%
Slab on Grade	25 MPa	100 +/- 20	-
Exterior Concrete	32 MPa	100 +/- 20	5% - 8%

Note: Concrete to be delivered with 75 mm max. slump
Superplasticizer may be added at site to raise slump by 65 mm+

Reinforcing steel requirements are as follows:

Location or Size	Min. Yield Strength	Lap Length	Remarks
All	400 MPa	30 dia.	-
W.W.M.	400 MPa	1/2 grid	Flat Sheet Only

Detailing and placing of all reinforcing steel shall be in accordance with The Reinforcing Steel Institute of Ontario "Manual of Standard Practice".

Concrete protection to reinforcement unless noted otherwise (mm):

Concrete deposited against earth	75
Formed concrete exposed to weather or in contact with earth - bars larger than 15	50
- 15 bars or smaller	40
Formed concrete not exposed to weather nor in contact with earth - slabs and walls	20
- beams and girders	40
- column ties and spirals	40

Provide sufficient support to maintain the reinforcing steel in the required positions with proper clearances before and during placing of concrete. Tie bars at all intersections.

Add 2 - 15 bars each face at perimeter of all openings in concrete walls, and extend bars 600 mm past opening each side.

WOOD FRAMING

Conform to the occupational health and safety requirements of the ministry of labour.

All material and workmanship to be in accordance with the Ontario Building Code (OBC).

Safeguard all existing structures, services and/or adjacent facilities, that may be affected by this work. make good as/where required to match original condition.

Confirm all dimensions before proceeding. report all discrepancies to the owner.

Roof trusses shall be designed for Residential occupancy for the loads shown hereon. The truss designer shall include an appropriate allowance for the truss self-weight. Truss web configuration on these drawings is conceptual only, actual web configuration to be determined by the truss designer.

Provide 2x wood diaphragm bracing as/where specified by truss designer. The contractor shall employ such additional temporary bracing and shoring as may be necessary for the execution of the work.

The contractor shall not proceed with erection under weather conditions that are likely to preclude the satisfactory completion of the work.

Climatic Loads for: OWENSOUND, ON

- Snow load 2.80 kpa
- Rain load 0.40 kpa
- Wind load $q_{30}=0.48kpa$

Lumber shall conform to CAN/CSA-086.1M-01, 'engineering design in wood'. all lumber shall be No. 1/No. 2 KD (kiln dried) SPF (spruce-pine-fir).

Lumber directly exposed to weather, in direct contact with the earth or concrete shall be pressure treated in accordance with CAN/CSA 080-97 unless otherwise specified.

New lumber identified as 'PT' shall be pressure treated spruce. Treatment rating shall be for above contact with ACA, CCA, ACQ or copper quat in accordance with CSA 080-97, wood preservation. All cut ends, cut edges and bolt holes shall be liberally brush coated with a compatible commercial preparation.

Plywood shall be Douglas Fir Plywood conforming to CSA 0121-M1978, Douglas Fir Plywood, or Softwood Plywood (spruce) conforming to CSA 0151-M1978, Canadian Softwood Plywood.

Minimum thickness of plywood as follows

- Exterior Sheathing: 1/2" OSB
- Roof Sheathing: 1/2" PLYWOOD
- Subflooring: 3/4" T&G PLYWOOD

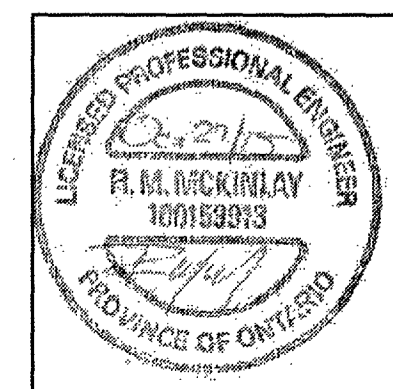
All subflooring shall be glued to floor joist (full length) and screwed in accordance with the Ontario Building Code.

Adhesive shall be a waterproof phenolic resin, resorcinol resin, polyurethane resin, epoxy-based resin, or equivalent adhesive that is suitable for gluing wood, for field use and for the temperatures that will prevail during the course of the work. Apply sufficient adhesive to cover the entire face of the lumber to be glued. Three suitable adhesives are:

- Bulldog grip pl premier
- Bulldog grip pl 400
- Lumberlock

Members noted hereon as "PSL" or "glulam" shall be E2.0 laminated veneer lumber, or E2.0 structural composite lumber, i.e., "Parallam", as manufactured by Weyerhaeuser or equivalent, and of the sizes shown hereon. Member width shall be as noted hereon. Member depth shall be not less than that shown hereon and factory-ripped from a larger standard size if required. All members to be continuous along there span unless otherwise specified and detailed.

All wood floor joists or wood beams to be flush mounted shall be hung using joist hangers equal those manufactured by Simpson Strong Tie and fastened per the manufacturers written instruction for the appropriate member size.



PROJECT: HOUSE RENOVATION STICKS AND STONES DESIGN 16 Centre St., Meaford, ON, N4L 1E8	FILE NO.: 15-001	SHEET: LP1
	DRAWN: SDB	
LOT PLAN	CHECKED: RMM	OCTOBER 27 2015