



# COLLABORATIVE REAL ESTATE

KAREN E. WILLISON, RLP LOCATIONS NORTH BROKERAGE



## Listing Information Package

139 Lake Drive, The Blue Mountains



KAREN E. WILLISON Sales Representative  
705-888-0075 | kwillison@royalpage.ca



LOCATIONS NORTH





[CollaborativeRealEstate.ca](https://www.collaborativerealestate.ca)



2425 sq. ft.



4 Bed



3 Bath



# 139 LAKE Drive, The Blue Mountains, Ontario N0H 2P0

Listing

Client Full  
**Active / Residential**

[139 LAKE Dr The Blue Mountains](#)

MLS®#: 40152000  
 Price: **\$2,999,000**



## Grey/Blue Mountains/Blue Mountains

2 Storey/House



Water Body: **Georgian Bay**

Type of Water: **Bay**

	Beds	Baths	Kitch
Basement	1	1	
Main	1	1	1
Second	2	1	

Beds: **4 ( 3 + 1 )**  
 Baths: **3 ( 3 + 0 )**  
 SF Total: **3,055/Other**  
 SF Range: **2001 to 3000**  
 Abv Grade Fin SF: **2,425.51/Other**  
 Blw Grade SF: **629.18/Other**  
 Common Interest: **Freehold/None**  
 Tax Amt/Yr: **\$11,222/2020**

### Remarks/Directions

Public Rmks: **Rare waterfront property on a beautiful sheltered bay with 104ft of stunning shoreline. Enjoy the crystal clear waters of Georgian Bay and keep your boat on your own private dock. The docking area and channel to the bay have been dredged to a depth of more than 5ft for safe and easy boating. Swim or paddle off the luxurious natural sandy beach on one side while the main frontage has newly reinforced rock walls to protect the shoreline. Unique on this side of Georgian Bay are the strategically placed boulders 200ft into the bay that keep the area protected for boats and swimming and allow you to dock your boat without worry. A true boaters dream. The house is on a double-lot on a quiet dead-end street and celebrates the beautiful view with wall to wall windows throughout the main floor. The eating area and living room each have a walkout to the large deck and share a two-sided wood fireplace. High cathedral ceilings complement the open concept main floor. A large sunroom with gas fireplace provides a cozy seating space on the other side of the house. The upper level has two bedrooms and a loft space while the master is on the main floor with views of the bay. Another large bedroom with seating area is on the lower level. With a detached double car garage, wooden walkways and paving stones, and beautifully tended gardens, this is truly a special property.**

Directions: **Take Hwy 126 to 10th Line North to T intersection, turn left (West) on Lake Drive to sign on right.**  
 Cross St: **10th Line**

### Common Elements

#### Waterfront

Features: **Beach Front, Breakwater**  
 Dock Type: **Private Docking**  
 Shoreline: **Clean, Natural, Rocky, Sandy**  
 Shore Rd Allow: **None**  
 Channel Name: **Georgian Bay**  
 Boat House:  
 Frontage: **104.33**  
 Exposure: **North**  
 Island Y/N: **No**

#### Exterior

Exterior Feat: **Deck(s), Hot Tub, Landscaped, Lawn Sprinkler System, Porch, Privacy**  
 Construct. Material: **Wood**  
 Shingles Replaced:  
 Year/Desc/Source: **1970//Estimated**  
 Property Access: **Municipal Road**  
 Other Structures: **Shed**  
 Pool Features: **None**  
 Garage & Parking: **Detached Garage, Private Drive Double Wide, Gravel Driveway**  
 Parking Spaces: **4**  
 Parking Level/Unit:  
 Services: **Cable TV Available, Electricity, Garbage/Sanitary Collection, High Speed Internet Avail, Natural Gas, Recycling Pickup, Telephone**  
 Water Source: **Municipal-Metered**  
 Lot Size Area/Units: **/**  
 Lot Front (Ft): **100.75**  
 Location: **Urban**  
 Foundation: **Block**  
 Roof: **Asphalt Shingle**  
 Prop Attached: **Detached**  
 Apx Age: **51-99 Years**  
 Rd Acc Fee:  
 Winterized: **Fully Winterized**  
 Driveway Spaces: **2.0**  
 Garage Spaces: **2.0**  
 Sewer: **Sewer (Municipal)**  
 Water Tmnt:  
 Acres Range: **< 0.5**  
 Acres Rent:  
 Lot Depth (Ft): **186.52**  
 Lot Shape: **Irregular**  
 Lot Irregularities: **100.75' x 186.52' x 104.33' x 175.13'**  
 Land Lse Fee:  
 Area Influences: **Beach, Cul de Sac/Dead End, Golf, Lake Access, Library, Marina, Park, Place of Worship, Quiet Area, School Bus Route, Schools, Trails**  
 View: **Bay, Beach, Clear, Panoramic, Skyline**  
 Topography:  
 Restrictions: **Easement**  
 School District: **Bluewater District School Board**  
 High School: **Georgian Bay Community Secondary, Pretty River Academy**  
 Elementary School: **Beaver Valley Community School, Georgian Bay Community School, Pretty River Academy**  
 Retire Com:  
 Fronting On: **North**  
 Exposure:

#### Interior

Interior Feat: **Built-In Appliances, Ceiling Fans, Central Vacuum, Countertop Range, Oven Built-in**  
 Security Feat: **Carbon Monoxide Detector(s), Smoke Detector(s)**  
 Access Feat: **Appliances Low/Secure, Hard/Low Nap Floors, Kitchen, Raised Toilet, Roll-In Shower, Roll-under Sink(s)**  
 Basement: **Partial Basement**  
 Laundry Feat: **In Basement**  
 Cooling: **Central Air**  
 Heating: **Fireplace-Gas, Fireplace-Wood, Geothermal, Heat Pump**  
 Fireplace: **2/Natural Gas, Wood**  
 Under Contract: **Hot Water Heater**  
 Lease to Own: **None**  
 Basement Fin: **Fully Finished**  
 FP Stove Op: **Yes**  
 Contract Cost/Mo: **33.33**

Inclusions: **Carbon Monoxide Detector, Central Vac, Dishwasher, Dryer, Hot Tub, Hot Tub Equipment, Microwave, Range Hood, Refrigerator, Smoke Detector, Stove, Washer, Window Coverings, Wine Cooler**  
 Exclusions: **Hot Water Tank (Rental)**

**Property Information**

Common Elem Fee: **No** Local Improvements Fee:  
 Legal Desc: **LT 5-6 PL 346 COLLINGWOOD; LT 23-24 PL 931 T/W R347899, S/T INTEREST IN R347899; THE BLUE MOUNTAINS**  
 Zoning: **Residential (R1-1)** Survey: **Available/ 2011**  
 Assess Val/Year: **\$1,102,000/2021** Hold Over Days: **120**  
 PIN: **371300560** Occupant Type: **Owner**  
 ROLL: **424200001509500** Deposit: **Minimum 5%**  
 Possession/Date: **30 - 59 Days/**  
 Possession Rmks: **After Nov. 1, 2021**

**Brokerage Information**

List Date: **08/19/2021**  
 List Brokerage: **Royal LePage Locations North (Collingwood Unit B) Brokerage**  
 Source Board: **Southern Georgian Bay**

Prepared By: **KAREN E. WILLISON, Salesperson** Date Prepared: **08/19/2021**  
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Rooms

**MLS® #: 40152000**

Room	Level	Dimensions	Dimensions (Metric)	Room Features
Kitchen	Main	10' 2" X 17' 5"	3.10 X 5.31	Accessible, Open Concept, Tile Floors, Vaulted Ceiling
Dining Room	Main	15' 1" X 17' 5"	4.60 X 5.31	Fireplace, French doors, Hardwood floor, Open Concept, Walkout to Balcony/Deck
Living Room	Main	13' 8" X 23' 8"	4.17 X 7.21	Fireplace, French doors, Hardwood floor, Open Concept, Vaulted Ceiling, Walkout to Balcony/Deck
Sunroom	Main	11' 11" X 21' 7"	3.63 X 6.58	Fireplace, French doors, Hardwood floor, Vaulted Ceiling, Walkout to Balcony/Deck
Bedroom Primary	Main	18' 6" X 16' 3"	5.64 X 4.95	Accessible, Ensuite, Hardwood floor, Vaulted Ceiling
Bathroom Primary	Main	5' 12" X 10' 0"	1.83 X 3.05	3-Piece, Accessible, Ensuite, Hardwood floor, Tile Floors
Den	Second	10' 3" X 16' 3"	3.12 X 4.95	Tile Floors, Vaulted Ceiling
Bedroom	Second	10' 2" X 11' 6"	3.10 X 3.51	Carpet, Vaulted Ceiling
Bedroom	Second	10' 3" X 10' 10"	3.12 X 3.30	Carpet, Vaulted Ceiling
Bathroom	Second	5' 1" X 8' 1"	1.55 X 2.46	4-Piece, Tile Floors
Bedroom	Basement	12' 10" X 21' 9"	3.91 X 6.63	Tile Floors
Bathroom	Basement	5' 11" X 9' 11"	1.80 X 3.02	4-Piece, Tile Floors
Utility Room	Basement	12' 1" X 7' 1"	3.68 X 2.16	Laundry

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# COLLABORATIVE REAL ESTATE

KAREN E. WILLISON, RLP LOCATIONS NORTH BROKERAGE

## Quick Facts

### 139 Lake Drive, The Town of Blue Mountains

- **104' of great, clean and accessible waterfront with dock and beach.**
- **Dredged dock area and harbour entrance provide boat access. Extends out 200 yards and is over 5' deep.**
- **Situated on a beautiful double lot measuring 100.75' x 186.52' x 104.33' x 175.13'.**
- **4 Bedrooms**
- **3 Baths**
- **Detached double garage.**
- **Preferred closing after November 1, 2021.**



## 10 Favourite Things About This Home - 139 Lake Drive, The Blue Mountains

1	Outstanding waterfront consisting of a high rock wall and a natural sandy beach. Rock walls provide unique protection for the property, boat docking, water sports and swimming.
2	Dredged dock area and harbour entrance out 200 yds is over 5' deep.
3	Northern exposure provides sunrises and sunsets in early summer.
4	Lake Drive is very quiet yet only 4 minutes into Thornbury. Easy access to Georgian trail.
5	Over 1200 sq ft of decks and 3 level home with lots of bedrooms is great for entertaining family and friends.
6	Perennial gardens are a source of joy for us as well as repeat passersby that regularly stop and pass on compliments.
7	Large windows around the home provide beautiful waterfront views.
8	Cozy sunroom with glass ceiling and gas fireplace.
9	Two sided wood burning fireplace built from Georgian Bay stone creates a feature wall in the dining and living areas.
10	Accessibility features within the home: ensuite shower room with wheelchair access, kitchen has roll up sink, stove and easy access oven.



**Expense/Utility/House Details**

Property Address: 139 Lake Drive, The Blue Mountains

**House Details**

Item	Year	Notes
Year Home was Built	1970 (estimate)	Additions in 2005 & 2013
Water Source Heat Pump (Air Conditioning & Heat)	2007	Geothermal - ClimateMaster Tranquility 27
Windows	Various	All replaced during past 20 years
Roof	2009 (estimate)	

**Fees and Utility Costs**

Utility	Yearly Cost	Provider
Current Property Taxes	\$11,221.90	Town of The Blue Mountains
Gas	\$1,200.00	Enbridge
Hydro	\$4,000.00	Hydro One
Rental Equipment Contracts	\$400.00	Reliance Home Comfort
Water/Sewer	\$600.00	Town of The Blue Mountains

**Rental Equipment**

Item	Provider	Contact/Notes
Hot Water Heater	Reliance Home Comfort	Bradford White 40 Gal Power Vented

## Appliances

Appliance	Make/Model	Year/Notes
Refrigerator	GE Profile SS	2005
Dishwasher	GE Profile SS	2005
Countertop Stove	GE Profile SS	2005
Built In Oven	GE Profile SS	2005
Beverage Fridge	Sunbeam	2005
Microwave	Danby	2005
Washer	Hot Point	2010
Dryer	Hot Point	2010

## Additions/Upgrades

Item	Year	Details/Notes
Front Porch	1994/1995	
East Wing & Stone Fireplace	1994/1995	Alpine Chimney
Dredging & Rebuild of Breakwall	1996	D.C. Slade Consultants
Dredging for Boat Access	2002	
Master Bedroom Addition	2005	
Replaced Weeping Tiles & Added Battery Back Up Sump	2006 (estimate)	Due to minor water penetration in the basement. Nothing since.
New Kitchen	2010	
Sunroom	2011	Van Dolder's Home Team
Hot Tub	2016	
Shoreline Wall Improvement & Landscaping	2020	Heartwood Landscape Companies

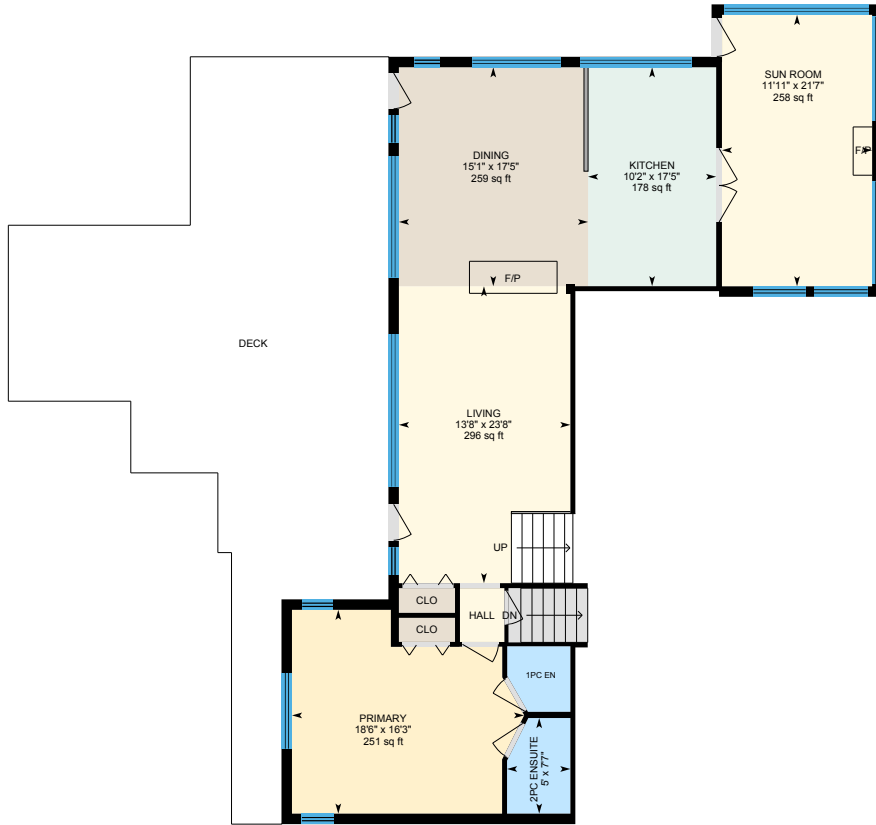
## Additional Notes:

200 AMP Service
Central Vac
Irrigation System

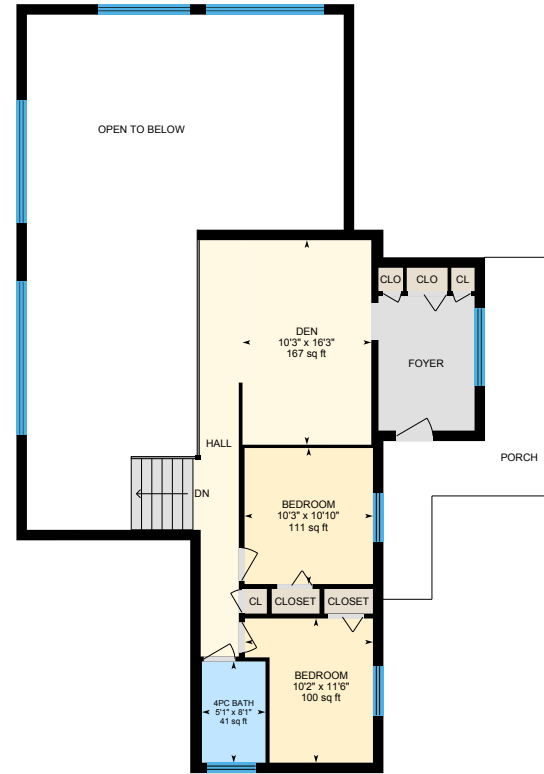


# 139 Lake Dr, Thornbury, ON

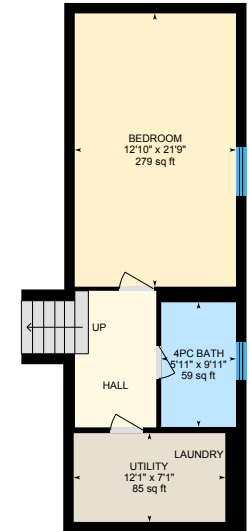
Main Building: Total Exterior Area Above Grade 2425.51 sq ft



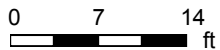
**Main Floor**  
Exterior Area 1553.50 sq ft



**Upper Level**  
Exterior Area 872.02 sq ft

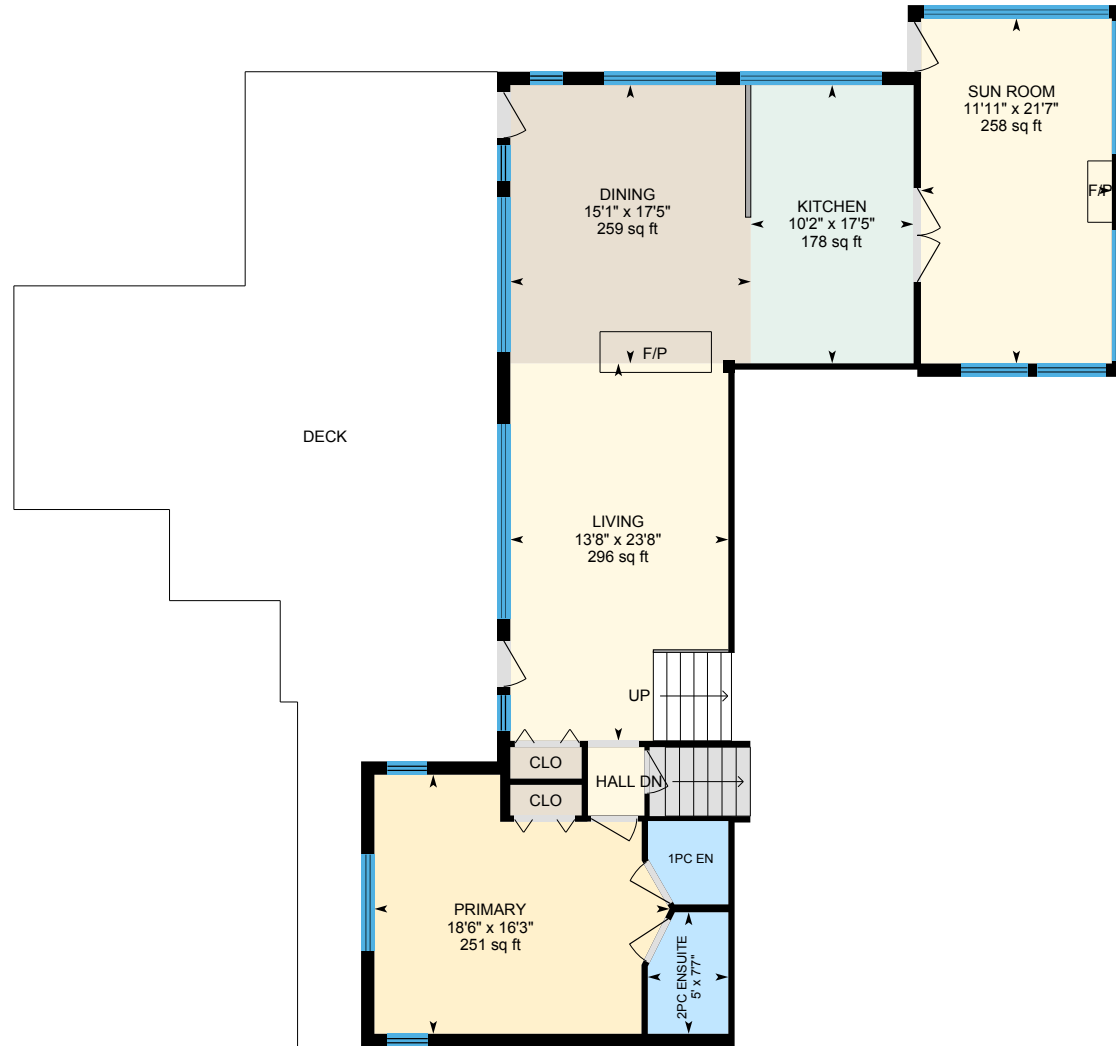


**Basement (Below Grade)**  
Exterior Area 629.18 sq ft



# 139 Lake Dr, Thornbury, ON

Main Floor Total Exterior Area 1553.50 sq ft  
Total Interior Area 1404.06 sq ft



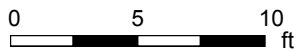
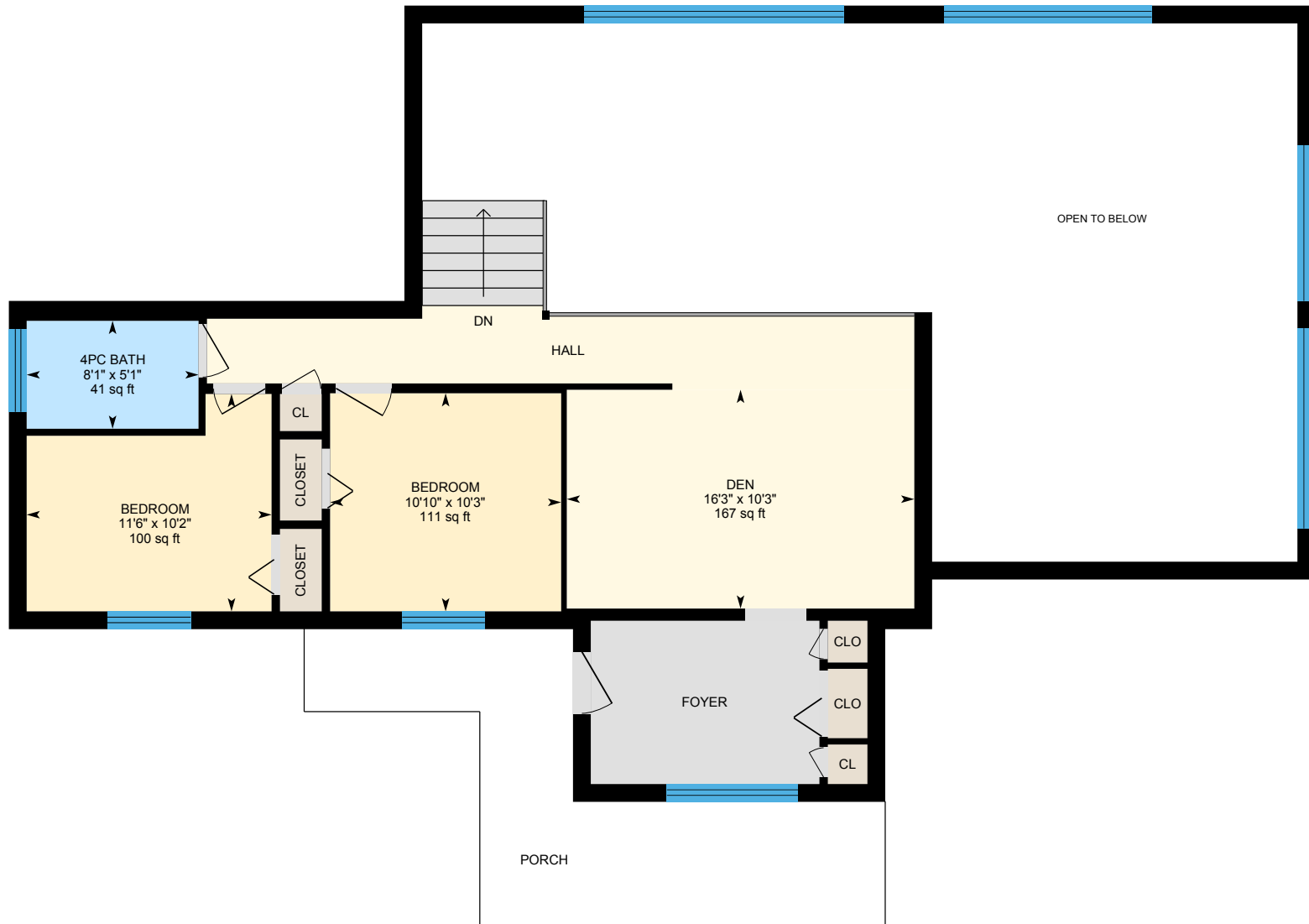
0 5 10 ft

PREPARED: Aug 2021

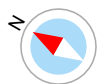


# 139 Lake Dr, Thornbury, ON

Upper Level Total Exterior Area 872.02 sq ft  
Total Interior Area 730.39 sq ft

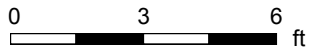
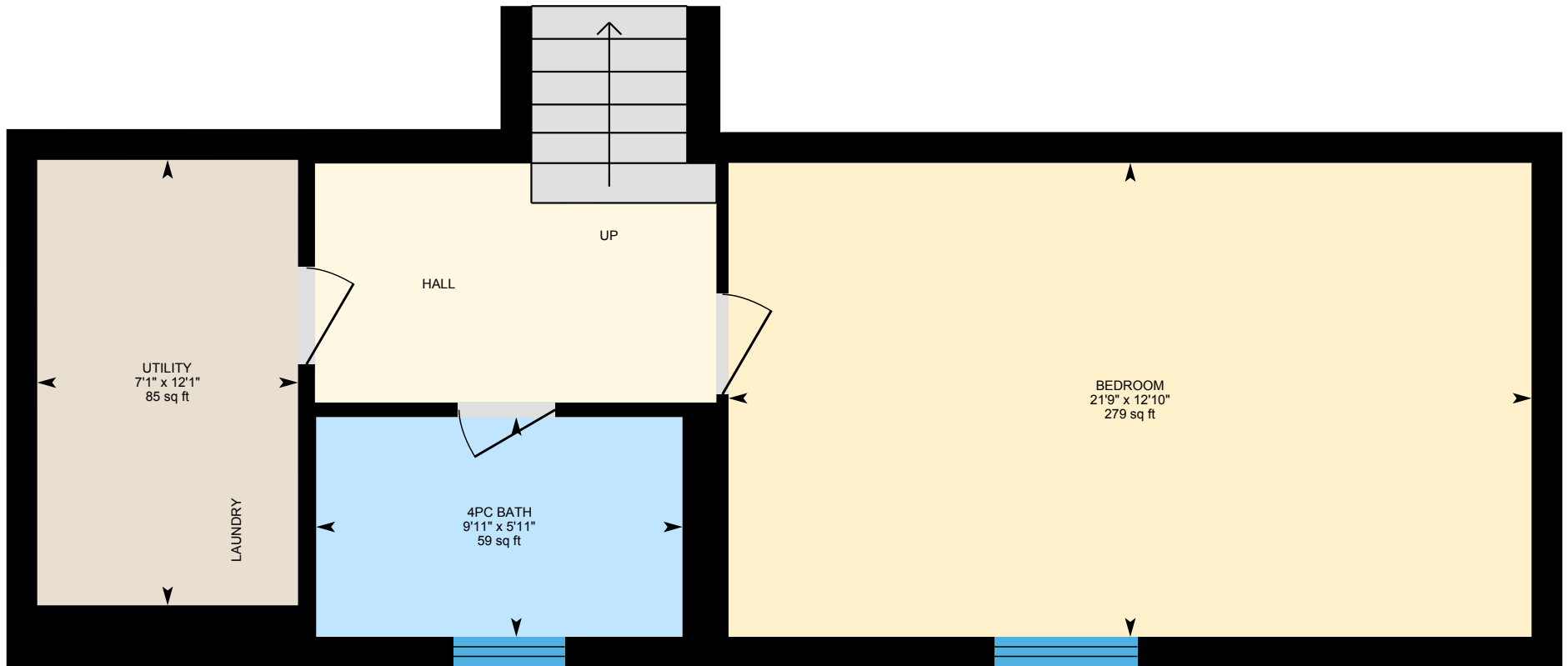


PREPARED: Aug 2021



# 139 Lake Dr, Thornbury, ON

**Basement** Total Exterior Area 629.18 sq ft  
Total Interior Area 531.21 sq ft



PREPARED: Aug 2021



# 139 Lake Dr, Thornbury, ON

## Property Details

### Room Measurements

Only major rooms are listed. Some listed rooms may be excluded from total interior floor area (e.g. garage). Room dimensions are largest length and width; parts of room may be smaller. Room area is not always equal to product of length and width.

#### Main Building

##### MAIN FLOOR

1pc En: 5' x 5'3" | 24 sq ft  
2pc Ensuite: 5' x 7'7" | 35 sq ft  
Dining: 15'1" x 17'5" | 259 sq ft  
Kitchen: 10'2" x 17'5" | 178 sq ft  
Living: 13'8" x 23'8" | 296 sq ft  
Primary: 18'6" x 16'3" | 251 sq ft  
Sun Room: 11'11" x 21'7" | 258 sq ft

##### UPPER LEVEL

4pc Bath: 5'1" x 8'1" | 41 sq ft  
Bedroom: 10'2" x 11'6" | 100 sq ft  
Bedroom: 10'3" x 10'10" | 111 sq ft  
Den: 10'3" x 16'3" | 167 sq ft

##### BASEMENT

4pc Bath: 5'11" x 9'11" | 59 sq ft  
Bedroom: 12'10" x 21'9" | 279 sq ft  
Utility: 12'1" x 7'1" | 85 sq ft

### Floor Area Information

Floor areas include footprint area of interior walls. All displayed floor areas are rounded to two decimal places. Total area is computed before rounding and may not equal to sum of displayed floor areas.

#### Main Building

##### MAIN FLOOR

Interior Area: 1404.06 sq ft  
Perimeter Wall Length: 179 ft  
Perimeter Wall Thickness: 10.0 in  
Exterior Area: 1553.50 sq ft

##### UPPER LEVEL

Interior Area: 730.39 sq ft  
Excluded Area: 724.09 sq ft  
Perimeter Wall Length: 170 ft  
Perimeter Wall Thickness: 10.0 in  
Exterior Area: 872.02 sq ft

##### BASEMENT (Below Grade)

Interior Area: 531.21 sq ft  
Perimeter Wall Length: 118 ft  
Perimeter Wall Thickness: 10.0 in  
Exterior Area: 629.18 sq ft

#### Total Above Grade Floor Area

Main Building Interior: 2134.46 sq ft  
Main Building Excluded: 724.09 sq ft  
**Main Building Exterior: 2425.51 sq ft**

# 139 Lake Dr, Thornbury, ON

## iGUIDE Method of Measurement

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### Definitions

**Interior Area** is a per floor calculation, made by measuring to the inside surface of the exterior walls.

**Excluded Area** is a sum of interior areas of all rooms (measured to the inside surface of room walls) that are excluded from the Interior Area for a floor. Prescribed area exclusions can vary from region to region. Examples of exclusions are spaces open to below, garages, cold cellars, crawl and reduced height spaces, non-enclosed open spaces, such as decks and balconies.

The footprint of all interior walls and staircases is typically included in the reported Interior Area for a floor. The iGUIDE PDF floor plans use color to highlight all included areas. All excluded areas are shown white.

**Exterior Area** is a per floor calculation, made by measuring to the outside surface of the exterior walls, see below for calculation details.

**Grade** is the ground level at the perimeter of the exterior finished surface of a house. A floor is considered to be above grade if its floor level is everywhere above grade.

**Total Interior Area** is the sum of all Interior Areas.

**Total Excluded Area** is the sum of all Excluded Areas.

**Total Exterior Area** is the sum of all Exterior Areas.

**Unfinished Area** is the sum of interior areas of all unfinished rooms (measured to the inside surface of room walls).

**Finished Area** is Exterior Area minus Unfinished Area. Finished Area includes the footprint of interior and exterior walls.

### iGUIDE Exterior Area Calculation

**Exterior Area = [Perimeter Wall Thickness] x [Perimeter Wall Length] + [Interior Area]**

### Notes

A. **Perimeter Wall Thickness** is an independent measurement taken from the property, typically, at the main entrance. Considerations are not made for varying wall thickness around the perimeter.

B. **Perimeter Wall Length** is the sum of lengths of all exterior wall segments on a particular floor. When used to calculate Total Exterior Area Above Grade based on Total Interior Area Above Grade, it is the sum of perimeter wall lengths of all floors above grade.

### Disclaimer

All dimensions and floor areas must be considered approximate and are subject to independent verification.



**Town of The Blue Mountains**  
 Box 310, 32 Mill Street, Main Floor Finance  
 Thornbury, Ontario N0H 2P0  
 Tel: 1-888-BLU MTNS (1-888-258-6867 ext 221)  
 Local: (519) 599-3131 • Fax: (519) 599-2474  
 tax@thebluemountains.ca • www.thebluemountains.ca

# Tax Bill

Final	2020
Billing Date	Aug 4, 2020

Roll No. 4242 000-015-09500-0000 4570

Mortgage: Mortgage No.

Name and Address Municipal Address/Legal Description

139 LAKE DR PO BOX 221  
 THORNBURY, ON N0H 2P0

139 - LAKE DRIVE  
 PLAN 346 LOT 5 TO 6 PLAN 931  
 LOT 23 TO 24

Assessment Class and Value	Description and School Support	Town (Lower Tier)		County (Upper Tier)		Province - Education	
		Tax Rate	Amount	Tax Rate	Amount	Tax Rate	Amount
RTEP 1,102,000	Residential - English Public	0.00364867	\$4,020.83	0.00356034	\$3,923.49	0.00153000	\$1,686.06

Sub Totals >>> Town Levy \$4,020.83 County Levy \$3,923.49 Ed Levy \$1,686.06

Special Charges	Instalments	Summary
Lake Dr Sewer 2026 w/GrindPu \$1,159.84	September 30, 2020 \$2,856.29	Tax Levy Sub-Total (Town+ County+/Education) \$9,630.38
Lake Dr Water 2026 w/GrindPu \$431.68	November 30, 2020 \$2,856.00	Special Charges \$1,591.52
		2020 Tax Cap Adjustment \$0.00
		<b>Final 2020 Levies \$11,221.90</b>
		Less Interim Billing \$5,509.61
		Past Due / - Credit \$0.00
<b>Total \$1,591.52</b>		<b>Total Amount Due \$5,712.29</b>

### Schedule 2

Final 2019 Levies	Total Year over Year Change	Final 2020 Levies
\$9,427.70	\$202.68	\$9,630.38
Final 2019 Levies		\$9,427.70
2019 Annualized Taxes		\$9,427.70
2020 Town Levy Change		\$147.27
2020 County Levy Change		\$48.62
2020 Education Levy Change		
2020 Tax Change Due to Reassessment		\$6.79
Final 2020 Levies		\$9,630.38

### Schedule 3

	Commercial	Industrial	Multi-Res.
2020 CVA Taxes			
2019 Annualized Taxes			
2020 Tax Cap Amount			
2020 Education Levy Change			
2020 Municipal Levy Change			
Final 2020 Taxes			

**Town of The Blue Mountains**  
 32 Mill St. P.O. Box 310  
 Thornbury, Ontario N0H 2P0

*Please make cheque payable to: Town of The Blue Mountains  
 Pay promptly to avoid penalty. Return Bill intact if receipt  
 required, otherwise, return stub only. 1.25% of unpaid taxes  
 will be added as penalty on the first day of the month after due  
 date and on the first day of each month thereafter until paid.*

**SEE REVERSE OF BILL FOR FURTHER INFO**

16x447

PLEASE DETACH AND SUBMIT WITH PAYMENT THANK YOU

Received from:	
Roll #	4242 000-015-09500-0000
Name	
Address	139 LAKE DR PO BOX 221 THORNBURY, ON N0H 2P0
Due Date	Total Due
November 30, 2020	\$2,856.00

22354 900



PLEASE DETACH AND SUBMIT WITH PAYMENT THANK YOU

**Town of The Blue Mountains**  
 32 Mill St. P.O. Box 310

Received from:	
Roll #	4242 000-015-09500-0000
Name	

REGISTERED PLAN 346 AND  
LOTS 23 AND 24  
REGISTERED PLAN 931  
TOWN OF THE BLUE MOUNTAINS  
COUNTY OF GREY

SCALE 1 : 250



RODNEY G. REYNOLDS  
ONTARIO LAND SURVEYOR

LEGEND

- SURVEY MONUMENT
- x SPOT ELEVATION
- 178.85 EXISTING ELEVATION
- FF FIRST FLOOR
- GF GARAGE FLOOR



NOTES

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM THE LEVEL  
OF GEORGIAN BAY AS MONITORED IN COLLINGWOOD BY THE  
CANADIAN HYDROGRAPHIC SERVICE.

BOUNDARY INFORMATION OBTAINED FROM A FIELD INSPECTION  
TAKEN ON AUGUST 11, 2011.

THIS SKETCH IS PREPARED SOLELY TO OBTAIN A BUILDING  
PERMIT AND MUST NOT BE USED FOR TRANSACTION OR  
MORTGAGE PURPOSES.

THIS SKETCH IS PROTECTED BY COPYRIGHT.

SURVEYOR'S CERTIFICATE

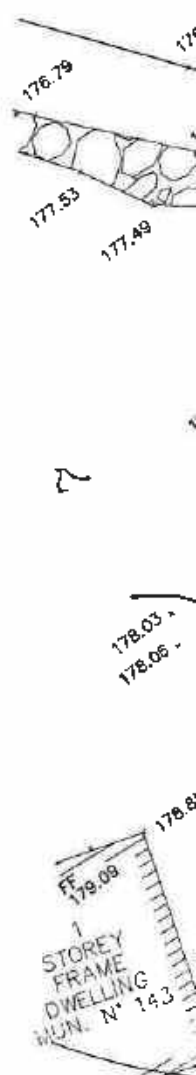
I CERTIFY THAT:

- 1) THIS SKETCH WAS COMPLETED ON THE 22nd DAY OF AUGUST, 2011.

AUGUST 22, 2011  
WASAGA BEACH, ONTARIO

A handwritten signature in blue ink, appearing to read 'R. Reynolds'.

RODNEY G. REYNOLDS  
ONTARIO LAND SURVEYOR







# CONSTRUCTION PERMIT

- ERECTION     EXTENSION     MATERIAL ALTERATION  
 INSTALLATION     REPAIR

Permit No.  
 94-160

15.095  
 Name of Municipality Township of... Phone 519-779-6020

Issued to (owner's name)		Address	
Contractor's Name		Address	
Area of building to be constructed <u>18' x 26' - 468'</u>			
Main permitted use of building <u>SINGLE FAMILY</u>		Zone <u>R-3</u>	
Street & No. <u>LORABAY</u> on the <u>NORTH</u> side, between			
Lot No. <u>LOT 516 239 24</u>	Plan No. <u>346</u>	Lot Size	
Bldg. Width <u>18</u>	Bldg. Length <u>26</u>	Bldg. Height <u>10</u>	
Set Backs Side Yard: <u>2 M</u> Side Yard: <u>2 M</u> Front Yard: <u>7.5 M</u> Rear Yard: <u>9 M</u>	Remarks: <u>policy change Dec. 14/94</u>		
Date: <u>Dec. 14/94</u>	I hereby confirm that the information above is correct as stated.		
Issued by: <u>Dorothy...</u>	Applicant: <u>[Redacted]</u>		

The personal information on this permit was collected pursuant to the *Building Code Act* and forms part of a public record open to inspection by any person upon request at the office of the clerk during normal office hours. See the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c. M.56, s. 14 (1) (c).

Original — OFFICE    Copy — ASSESSMENT    Copy — INSPECTOR    Copy — RECIPIENT    Card Copy — FIELD

The person to whom this permit has been issued shall notify the Chief Building Official, the Plumbing Inspector, and the Hydro Inspector in advance of the stages of construction specified below. Permission is not included to dig, tunnel or bore into or under any part of a street, nor to occupy or obstruct any street sidewalk or other municipal property. To obtain permission to occupy the street or sidewalk during construction, present this permit at the office of the Clerk of the municipality.

The owner or owner's agent is responsible for the proper setting of grades for the structure, and may request assistance from the Building Inspector. Unless otherwise specifically so provided for and approved in writing by the appropriate inspector, full compliance is required with all the provisions of the Building Code made under the *Building Code Act*; the Electrical Safety Code made under the *Power Corporation Act*; and of any by-law of the municipality, which in whole or in part regulates structural requirements, erection, alteration, location, use, etc. of buildings. This permit is subject to revocation in accordance with the above-cited authorities.

### BUILDING CODE, R.R.O. 1990, Reg. 61, s. 2.4.5.1.

Chief Building Official, telephone ..... Plumbing Inspector, telephone (where applicable) .....

<p><b>Stages of construction requiring notice</b></p> <p>a) Commencement of the construction of the building; <input type="checkbox"/></p> <p>b) Readiness to construct the footings; <input type="checkbox"/></p> <p>c) Substantial completion of the footings and foundations; <input type="checkbox"/></p> <p>d) Where the building is within the scope of Part 9, of the substantial completion of:                  (i) structural framing,                  (ii) insulation and vapour barriers, and                  (iii) duct work and piping for heating and air-conditioning systems; <input type="checkbox"/></p> <p>e) Where the building is within the scope of parts of the Code other than Part 9, of the substantial completion of:                  (i) structural framing of each storey,                  (ii) insulation and vapour barriers, and                  (iii) roughing-in of heating, ventilation, air-conditioning and air-contaminant extraction equipment; <input type="checkbox"/></p> <p>f) Commencement of the construction of:                  (i) masonry fireplaces and masonry chimneys,                  (ii) factory-built fireplaces and allied chimneys,                  (iii) stoves, ranges, space heaters and add-on furnaces using solid fuels and allied chimneys; <input type="checkbox"/></p> <p>g) Substantial completion of all required fire separations and closures and all fire protection systems including standpipe, sprinkler, fire alarm and emergency lighting systems; <input type="checkbox"/></p> <p>h) Substantial completion of interior finishes and heating, ventilating, air-conditioning and air-contaminant extraction equipment; <input type="checkbox"/></p> <p>i) Substantial completion of exterior cladding, fire access routes and site grading; <input type="checkbox"/></p> <p>j) completion of construction and installation of components required to permit occupancy by Sentences 2.4.3.1. (2) and 2.4.3.2. (1); <input type="checkbox"/></p>	<p><input checked="" type="checkbox"/> i.2) Of the readiness for inspection and testing of:                  (i) building sewers and building drains,                  (ii) water service pipes,                  (iii) drainage systems and venting systems,                  (iv) water distribution system, and                  (v) plumbing fixtures and plumbing appliances, and <input type="checkbox"/></p> <p>j) Completion and availability of drawings of the building as constructed. <input type="checkbox"/></p>
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### ELECTRICAL SAFETY CODE, O. Reg. 10/91

Hydro Inspector, telephones .....

- 2-004 Inspection**
- (1) A contractor shall file with the inspection department a completed application for inspection of any work on an electrical installation  
 (a) Before or within 48 hours after commencement of the work whether or not electrical power or energy has been previously supplied to the land, building or premises on which the work was performed; and  
 (b) Shall pay the fees prescribed by the inspection department.
- (2) An application for inspection which has been refused in accordance with the provisions of Rule 2-008 shall, for purposes of Subrule (1) hereof, be deemed not to be a completed application.
- (3) Subject to the provisions of Rule 2-008, payment of the fees prescribed by the inspection department entitles the contractor to one complete inspection of the installation.
- (4) Every contractor who undertakes an electrical installation is responsible for procuring its inspection by the inspection department before the installation is used for any purpose.
- (5) The contractor shall give to the inspection department at least 48 hours notice in writing that the work on the electrical installation has been completed and that the installation is ready for inspection, but where the work is being performed in a remote district or is not immediately accessible for any other reason, the notice shall be of such greater length as is necessary to accommodate the inspection schedule of the inspection department.
- (6) The inspection shall be made at such time and in such manner as the inspection department determines.
- (7) No electrical installation shall be concealed or rendered inaccessible, until it has been inspected by an inspector and found to conform to this Code.

**POST THIS CARD ON THE EXTERIOR OF THE BUILDING ON THE SIDE FACING THE STREET**

# CONSTRUCTION PERMIT

ERECTION     EXTENSION     MATERIAL ALTERATION  
 INSTALLATION     REPAIR

Permit No. **94-127**

15.095  
 Name of Municipality Colebrook Phone 5996355

Issued to (owner's name)		Address	
Contractor's Name <u>R-N HENRY</u>		Address	
Area of building to be constructed <u>8' x 14'</u>			
Main permitted use of building <u>SINGLE FAMILY</u>		Zone <u>R-3</u>	
Street & No. <u>LAKE DR.</u> on the <u>NORTH</u> side, between			
Lot No. <u>586</u>	Plan No. <u>346</u>	Lot Size	
Bldg. Width <u>14'</u>	Bldg. Length <u>8'</u>	Bldg. Height <u>8'</u>	
Set Backs	Side Yard: <u>2M</u>	Side Yard: <u>2M</u>	Front Yard: <u>7-5M</u> Rear Yard: <u>9M</u>
Remarks:			
Date: <u>Sept 28/94</u>		I hereby confirm that the information above is correct as stated.	
Issued by: <u>[Signature]</u>		Applicant: <u>[Signature]</u>	

The personal information on this permit was collected pursuant to the *Building Code Act* and forms part of a public record open to inspection by any person upon request at the office of the clerk during normal office hours. See the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c. M.56, s. 14 (1) (c).

Original — OFFICE    Copy — ASSESSMENT    Copy — INSPECTOR    Copy — RECIPIENT    Card Copy — FIELD

The person to whom this permit has been issued shall notify the Chief Building Official, the Plumbing Inspector, and the Hydro Inspector in advance of the stages of construction specified below. Permission is not included to dig, tunnel or bore into or under any part of a street, nor to occupy or obstruct any street sidewalk or other municipal property. To obtain permission to occupy the street or sidewalk during construction, present this permit at the office of the Clerk of the municipality.

The owner or owner's agent is responsible for the proper setting of grades for the structure, and may request assistance from the Building Inspector. Unless otherwise specifically so provided for and approved in writing by the appropriate inspector, full compliance is required with all the provisions of the Building Code made under the *Building Code Act*; the Electrical Safety Code made under the *Power Corporation Act*; and of any by-law of the municipality, which in whole or in part regulates structural requirements, erection, alteration, location, use, etc. of buildings. This permit is subject to revocation in accordance with the above-cited authorities.

### BUILDING CODE, R.R.O. 1990, Reg. 61, s. 2.4.5.t.

Chief Building Official, telephone ..... Plumbing Inspector, telephone (where applicable) .....

<p><b>Stages of construction requiring notice</b></p> <p>a) Commencement of the construction of the building; <input type="checkbox"/></p> <p>b) Readiness to construct the footings; <input type="checkbox"/></p> <p>c) Substantial completion of the footings and foundations; <input type="checkbox"/></p> <p>d) Where the building is within the scope of Part 9, of the substantial completion of:                  (i) structural framing,                  (ii) insulation and vapour barriers, and                  (iii) duct work and piping for heating and air conditioning systems; <input type="checkbox"/></p> <p>e) Where the building is within the scope of parts of the Code other than Part 9, of the substantial completion of:                  (i) structural framing of each storey,                  (ii) insulation and vapour barriers, and                  (iii) roughing-in of heating, ventilation, air-conditioning and air-contaminant extraction equipment; <input type="checkbox"/></p> <p>f) Commencement of the construction of:                  (i) masonry fireplaces and masonry chimneys,                  (ii) factory-built fireplaces and allied chimneys,                  (iii) stoves, ranges, space heaters and add on furnaces using solid fuels and allied chimneys; <input type="checkbox"/></p> <p>g) Substantial completion of all required fire separations and closures and all fire protection systems including standpipe, sprinkler, fire alarm and emergency lighting systems; <input type="checkbox"/></p> <p>h) Substantial completion of interior finishes and heating, ventilating, air-conditioning and air-contaminant extraction equipment; <input type="checkbox"/></p> <p>i) Substantial completion of exterior cladding, fire access routes and site grading; <input type="checkbox"/></p> <p>i.1) completion of construction and installation of components required to permit occupancy by Sentences 2.4.3.1. (2) and 2.4.3.2. (1); <input type="checkbox"/></p>	<p><input checked="" type="checkbox"/> j) Of the readiness for inspection and testing of:                  (i) building sewers and building drains,                  (ii) water service pipes,                  (iii) drainage systems and venting systems,                  (iv) water distribution system, and                  (v) plumbing fixtures and plumbing appliances, and <input type="checkbox"/></p> <p><input type="checkbox"/> j) Completion and availability of drawings of the building as constructed. <input type="checkbox"/></p>
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**ELECTRICAL SAFETY CODE, O. Reg. 10/91**

Hydro Inspector, telephone .....

**2-004 Inspection**

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(7) No electrical installation shall be concealed or rendered inaccessible, until it has been inspected by an inspector and found to conform to this Code.

**POST THIS CARD ON THE EXTERIOR OF THE BUILDING ON THE SIDE FACING THE STREET**



# GREY SAUBLE CONSERVATION AUTHORITY

PERMIT NUMBER	GS94-13
DATE ISSUED	Dec. 13, 1994

R.R. #4, Inglis Falls Road, Owen Sound, Ontario, N4K 5N6 (519)-376-3076 Fax (519)-371-0437

## FILL, CONSTRUCTION and ALTERATION to WATERWAYS PERMIT

In accordance with Ontario Regulation 416/94, permission is hereby granted to:

- to  PLACE FILL  
 CONSTRUCT A BUILDING or STRUCTURE  
 ALTER A WATERCOURSE

at the following location:

Municipality Collingwood Lot (Part) 37 Concession 11  
 Lot Number Lots 5,6 Lots 23,24 Registered Plan Number Plan 346 Plan 931  
 Existing Landuse Residential

For the following works an addition and deck

on the above described property, during the period of December 13, 1994 to December 13, 1996 subject to the following conditions:

### SPECIFIC CONDITIONS

- No building openings shall be located below the existing mainfloor elevation or approx. 179.4 metres G.S.C.
- Dimensions as per attached site plan

### GENERAL CONDITIONS

The applicant, by acceptance of and in consideration of the issuance of this Permit, agrees to the following conditions

1. Approvals, permits, etc may be required from other agencies prior to undertaking the work proposed. Authority permission, if granted for the proposed work, does not exempt the owner/agent from complying with any or all other approvals, laws, statutes, ordinances, directives, regulations, etc. that may affect the property or the use of same.
2. Authorized representatives of the Grey Sauble Conservation Authority may, at any time, enter onto the lands which are described herein to make surveys, examinations or inspections which are required for the purpose of ensuring that the work(s) authorized by this Permit are being carried out according to the terms of this Permit.
3. The applicant agrees:
  - (a) to indemnify and save harmless on a solicitor and client basis, the Grey Sauble Conservation Authority and its officers, employees or agents, from or against all damage, loss, costs, claims demands, actions and proceedings, arising out of or resulting from any act or omission of the owner and/or applicant or of any of his agents, employees or contractors relating to any particulars, terms or conditions of this Permit;
  - (b) that this Permit shall not release the applicant from any legal liability or obligation and remains in force subject to all limitations, requirements and liabilities imposed by law;
  - (c) that all complaints arising from the execution of the works authorized under this Permit shall be reported prior to the expiration of this Permit.

(Officer of the Authority)

CLERK (519) 599-3070  
TREASURER (519) 599-3031  
FAX (519) 599-2474

P.O. BOX 40  
CLARKSBURG, ONTARIO  
N0H 1J0



BUILDING AND PLANNING  
(519) 599-6020  
FAX (519) 599-6032

P.O. BOX 189  
CLARKSBURG, ONTARIO  
N0H 1J0

**ACKNOWLEDGMENT**

RE: LOT 5+6 PLAN 346  
AND LOT 23424 PLAN 931

STREET: LAKE DRIVE

BUILDING PERMIT #: 94-160

The applicant hereby acknowledges that any building permit issued by the Municipality as a result of this application is based on the measurements and distances shown on the site plan sketch produced by the applicant.

The applicant acknowledges that the accuracy of all of the dimensions shown on the application are the responsibility of the applicant and further acknowledges that the Municipality may recommend a survey confirming all relevant dimensions.

The applicant further acknowledges that the accuracy of all of the elevations shown on the lot or block within the Plan of Subdivision is in conformity with the overall grading plan. The responsibility for plan certification will be that of the lot owner, who will be required to employ his own engineer or surveyor to certify that the building constructed has been built in conformance with the approved lot grading plan.

In the event the applicant does not provide an up-to-date survey and any dimensions are shown to be incorrect, the applicant accepts responsibility for such incorrect dimensions and agrees to take the necessary steps to rectify any resulting breach of Municipal By-laws and regulations at the applicant's own expense.

SIGNED: \_\_\_\_\_

WITNESS: \_\_\_\_\_

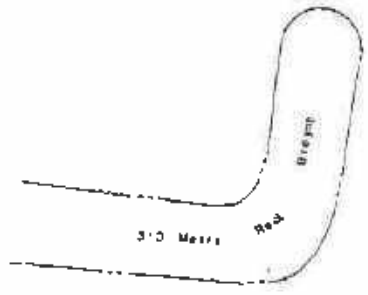
DATE: \_\_\_\_\_

Fax: 519-599-6032  
Building: 519-599-6020

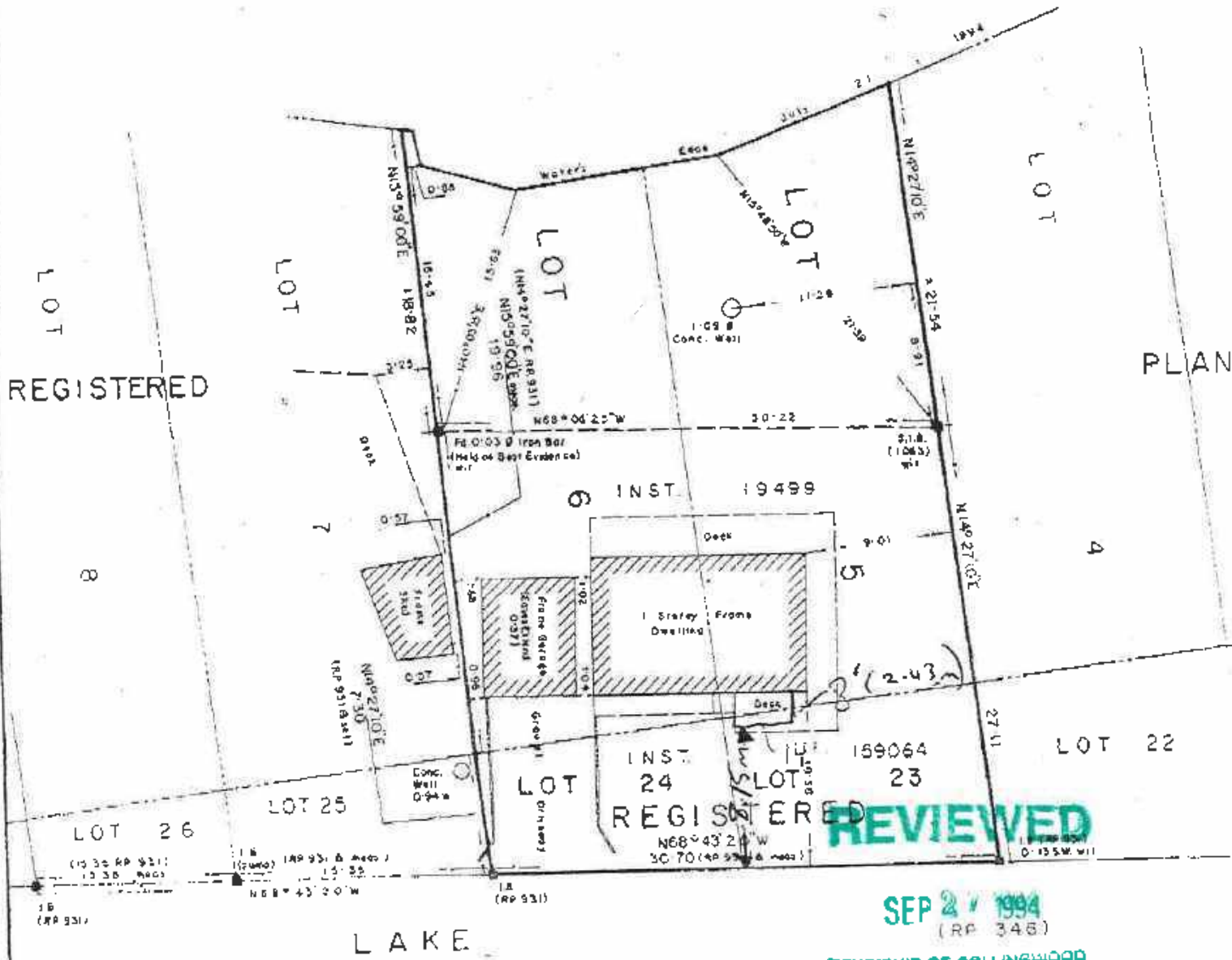
Notes: Iain Lamont  
of  
Conservation  
Authority indicated  
that no permit  
was necessary

BAY Rob A  
Sept 23/94

SITING



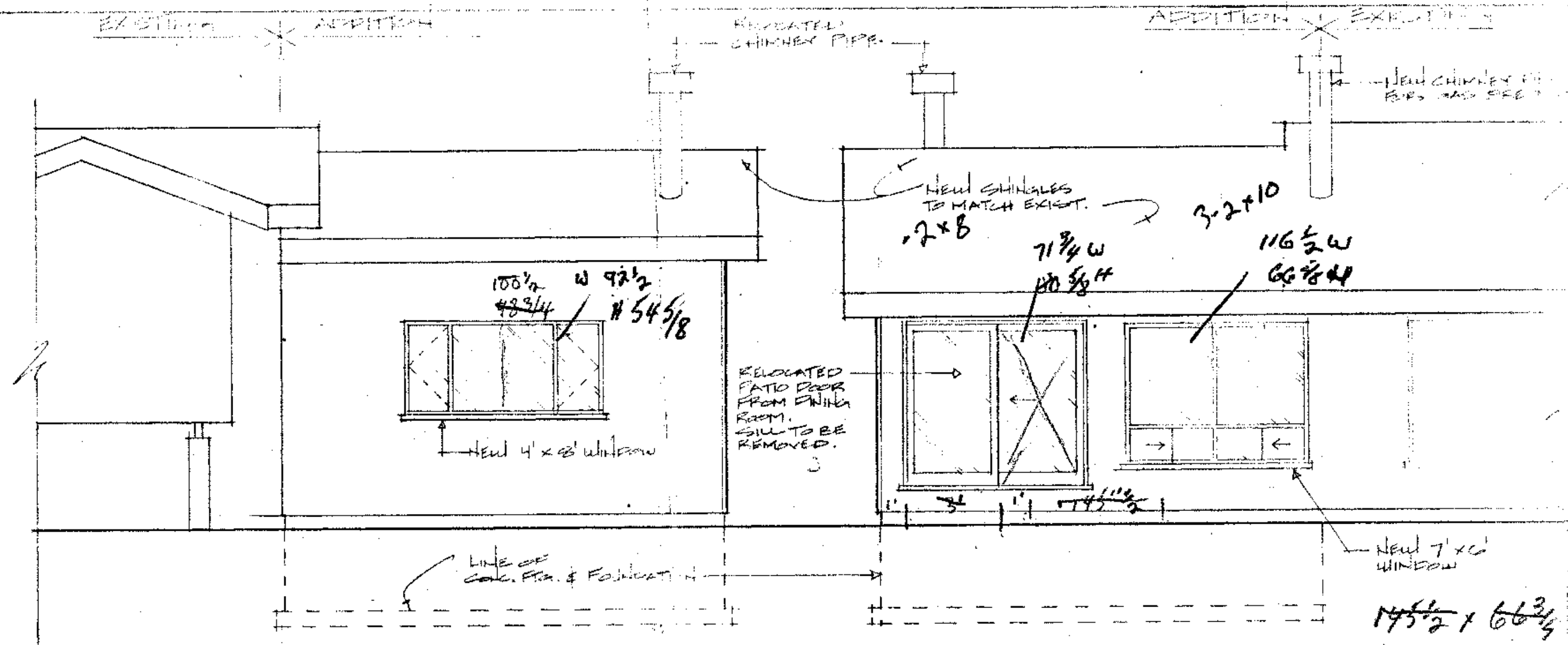
GEORGIAN



REVIEWED

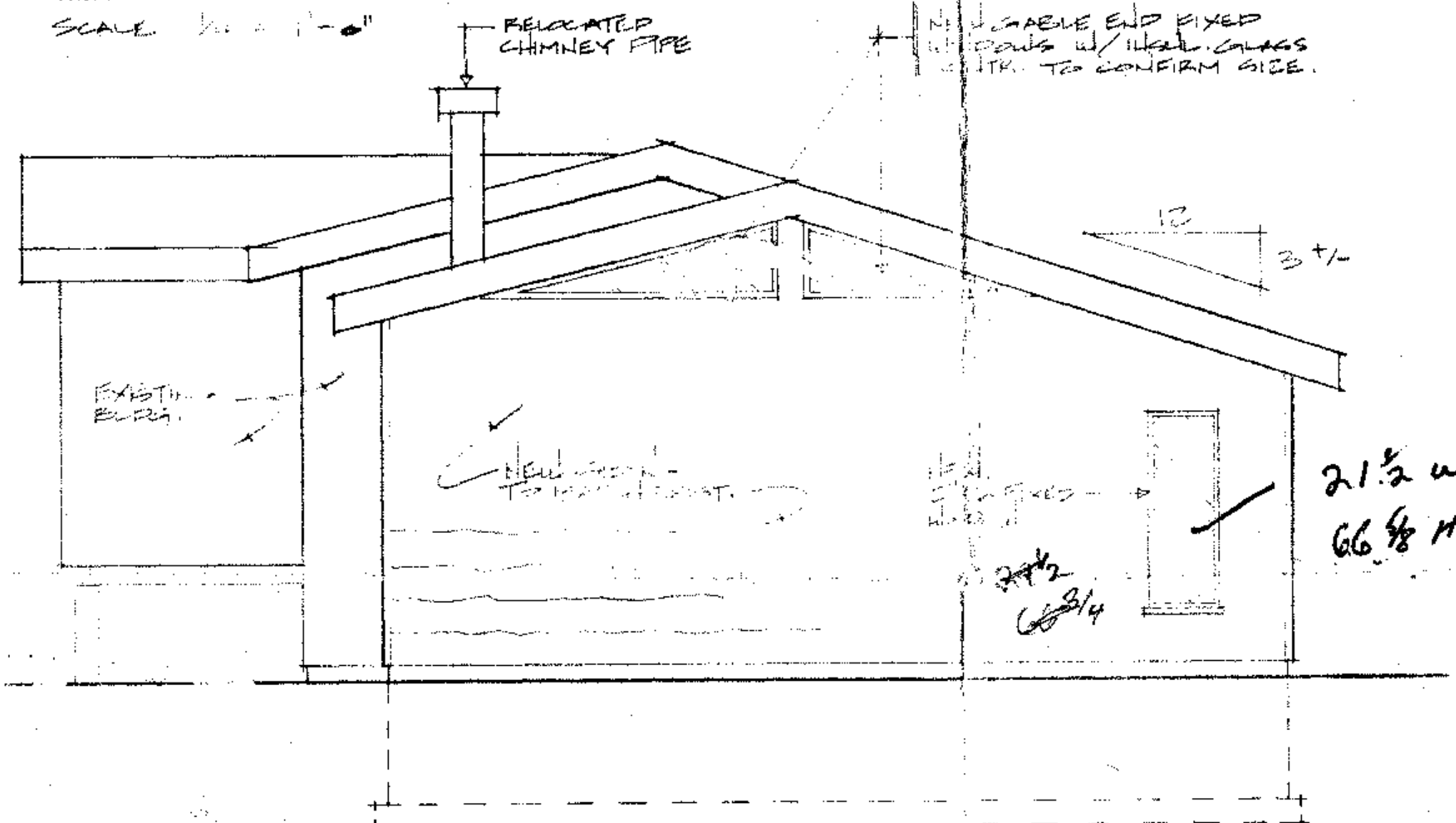
SEP 27 1994  
(RP 348)

TOWNSHIP OF COLLINGWOOD  
BUILDING DEPARTMENT

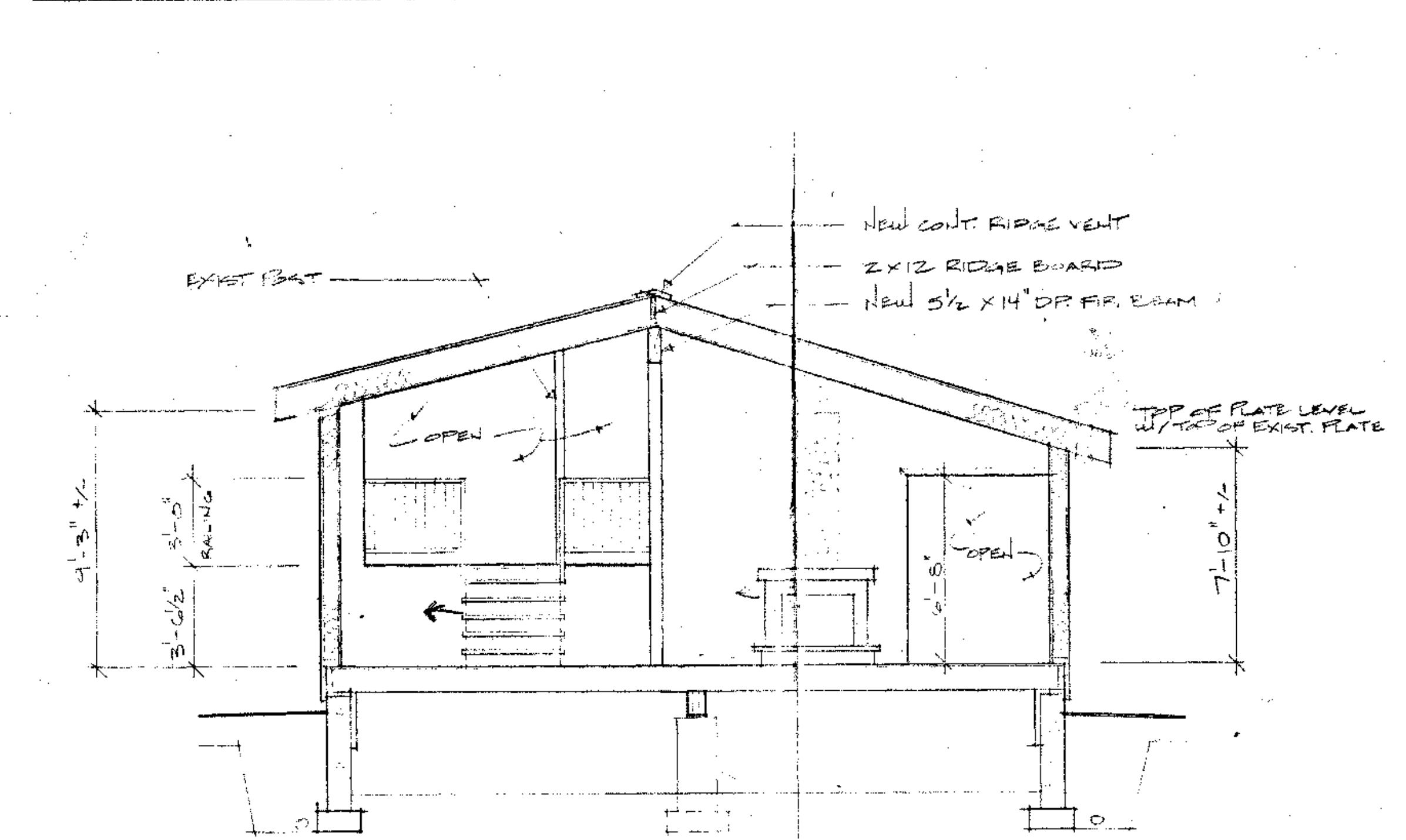


FRONT ELEVATION

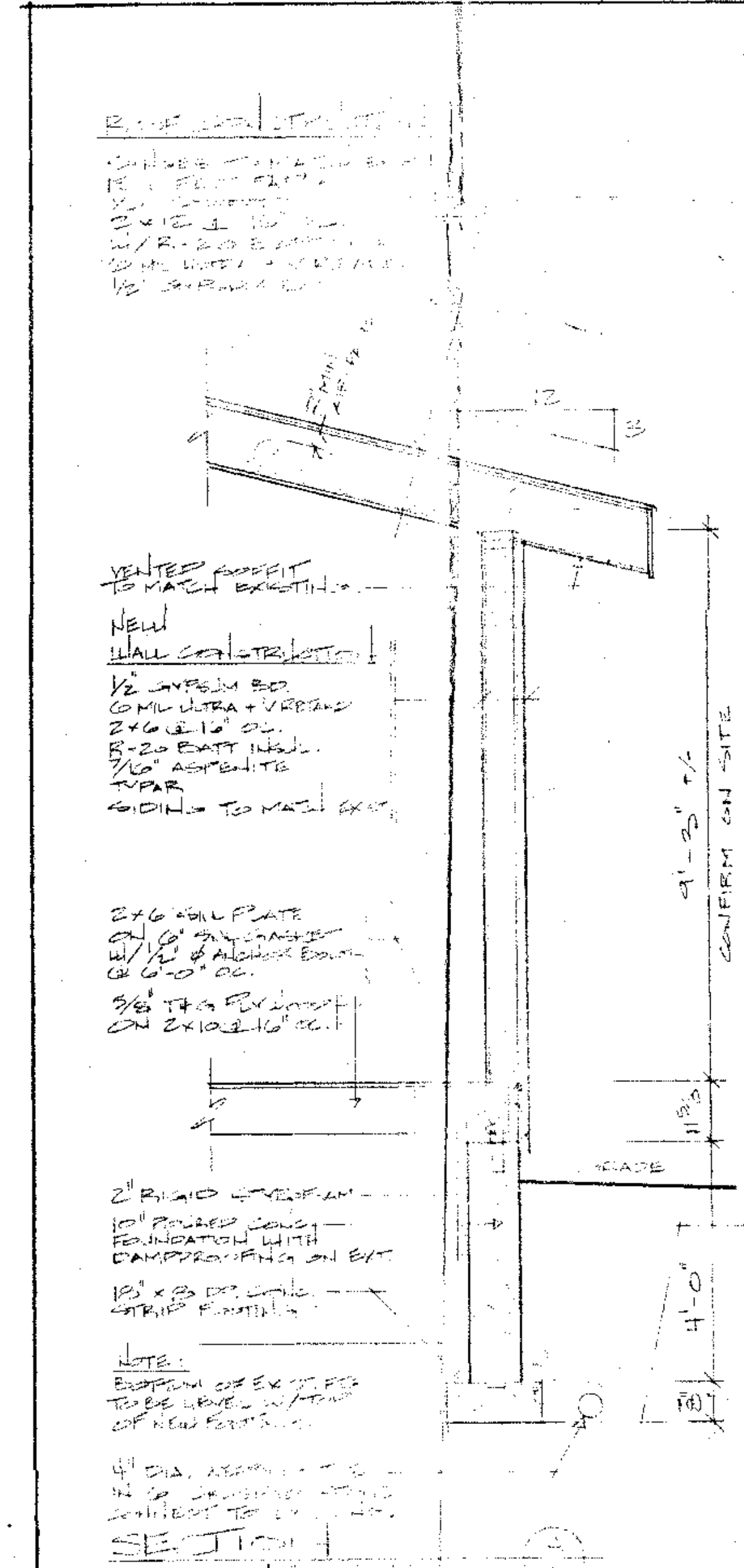
REAR ELEVATION (WATER SIDE)



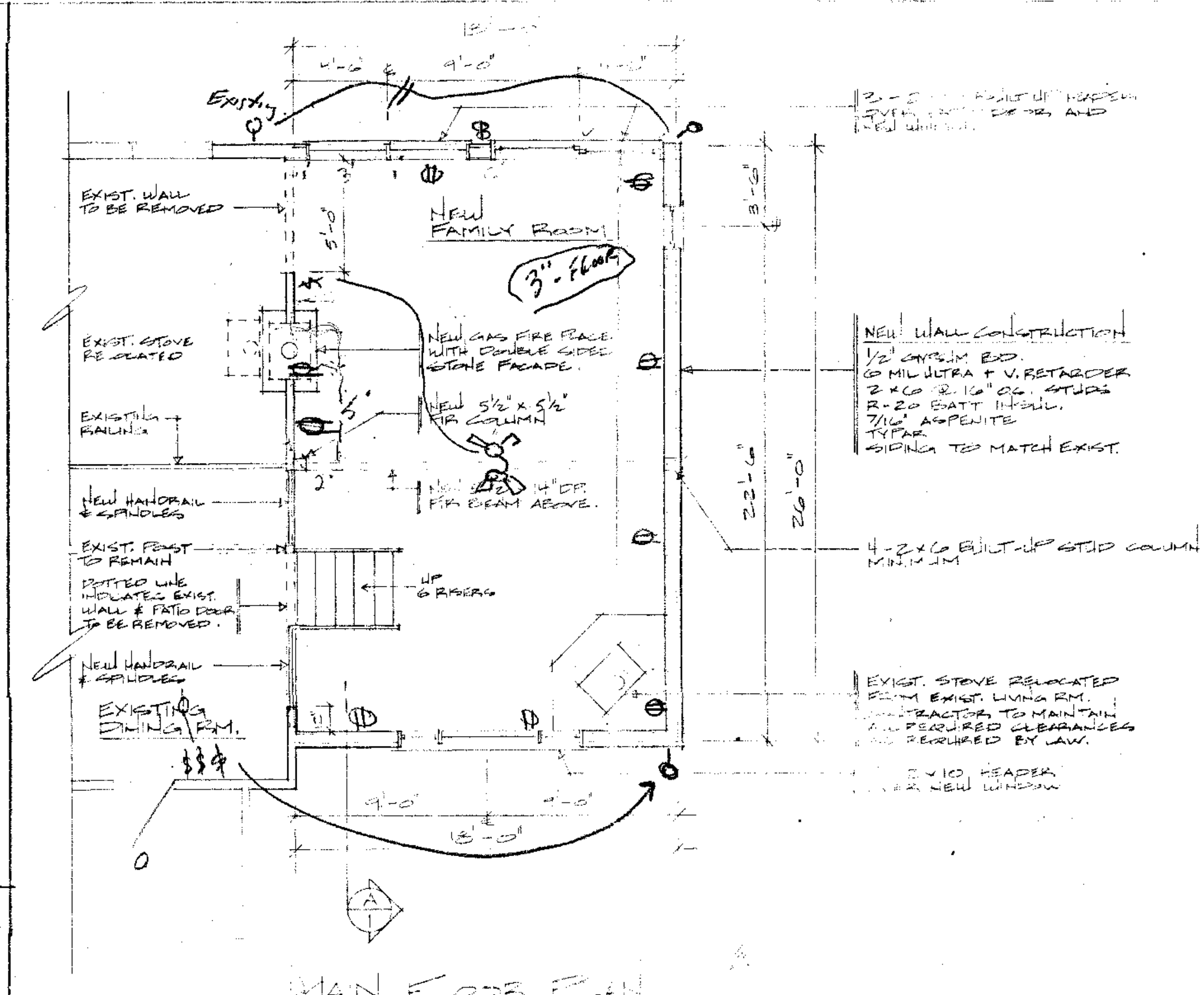
SIDE ELEVATION



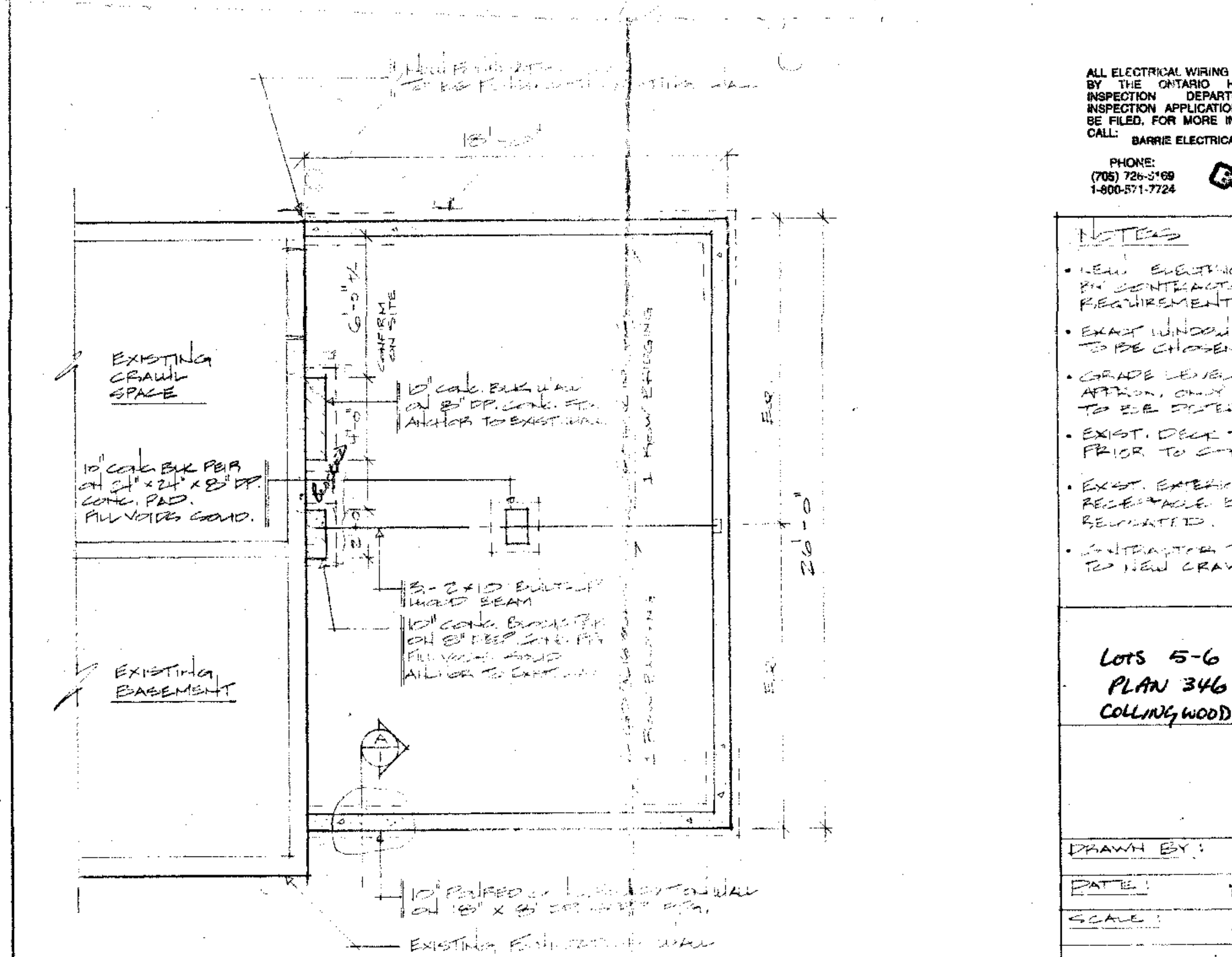
BUILDING SECTION



SECTION



MAIN FLOOR PLAN



FOUNDATION PLAN

NEW WALL CONSTRUCTION  
 1/2" CONCRETE  
 2" MIL ULTRA + V. RETARDER  
 2" X 6 @ 16" OC. STUDS  
 2" X 2" BATT INSUL.  
 7/16" ASPENITE  
 SIPING TO MATCH EXIST.

EXIST. STOVE RELOCATED FROM EXIST. LIVING RM. CONTRACTOR TO MAINTAIN ALL REQUIRED CLEARANCES AS REQUIRED BY LAW.

EXIST. 2" X 10" HEADER OVER EXIST. DOOR AND NEW WINDOW

ALL ELECTRICAL WIRING MUST BE DONE BY THE ONTARIO HYDRO ELECTRICAL INSPECTION DEPARTMENT. SEPARATE INSPECTION APPLICATIONS (PERMITS) MUST BE FILED. FOR MORE INFORMATION PLEASE CALL: BARRIE ELECTRICAL INSPECTION

PHONE: (705) 726-1989  
 1-800-571-7724

FAX: (705) 726-2882  
 1-877-571-7725

- NOTES
- NEW ELECTRICAL TRAYS SHALL BE CONTRACTOR TO MEET ALL REQUIREMENTS.
  - EXIST. WINDOW STUDS TO BE CHOSEN BY OWNER.
  - GRADE LEVEL SHALL BE APPROX. ONLY. EXACT GRADE TO BE DETERMINED ON SITE.
  - EXIST. DOOR TO BE DEMOLISHED PRIOR TO CONSTRUCTION.
  - EXIST. EXTERIOR LIGHTS & RECESSED BOX TO BE RELOCATED.
  - CONTRACTOR TO BE VIEW AHEAD TO NEW CRAWL SPACE.

Lots 5-6 & 23-24  
 PLAN 346  
 COLLINGWOOD TOWNSHIP

REVIEWED  
 DEC 14 1994

DRAWN BY: TOWNSHIP OF COLLINGWOOD BUILDING DEPARTMENT  
 DATE: DEC 14 1994  
 SCALE: AS NOTED

UPPER NEW  
TO OLD

2x6  
RIDGE BOARD

2x6 JACK  
RAFTERS  
2' CENTER

SHINGLES TO MATCH  
EXISTING

Aspenite 1/2" with H-CLIPS  
FASCIA TO  
MATCH  
HOUSE

COLLAR TIES  
ON EACH RAFTER

2x6 RAFTERS  
2' CENTER

INSULATED & POLY CEILING  
TO BUILDING COPE

WALL PLATE

16" OVER  
SITE COPY

SITE COPY

REVIEWED

SFP 2/1 1994

TOWNSHIP OF COLLINGWOOD  
BUILDING DEPARTMENT

8'

16"

14'

16'





12" CEMENT PIERS 30 MPA CONCRETE  
4' BELOW GRADE

6 mm POLY ON TOP OF JOIST

TRIPLE 2x8 PT BEAM

5/8 T.C PLYWOOD

2x8 JOIST 16" CENTER

14'

REVIEWED

SEP 27 1994

TOWNSHIP OF COLLINGWOOD  
BUILDING DEPARTMENT

6"

6"

PT PLYWOOD  
ON BOTTOM

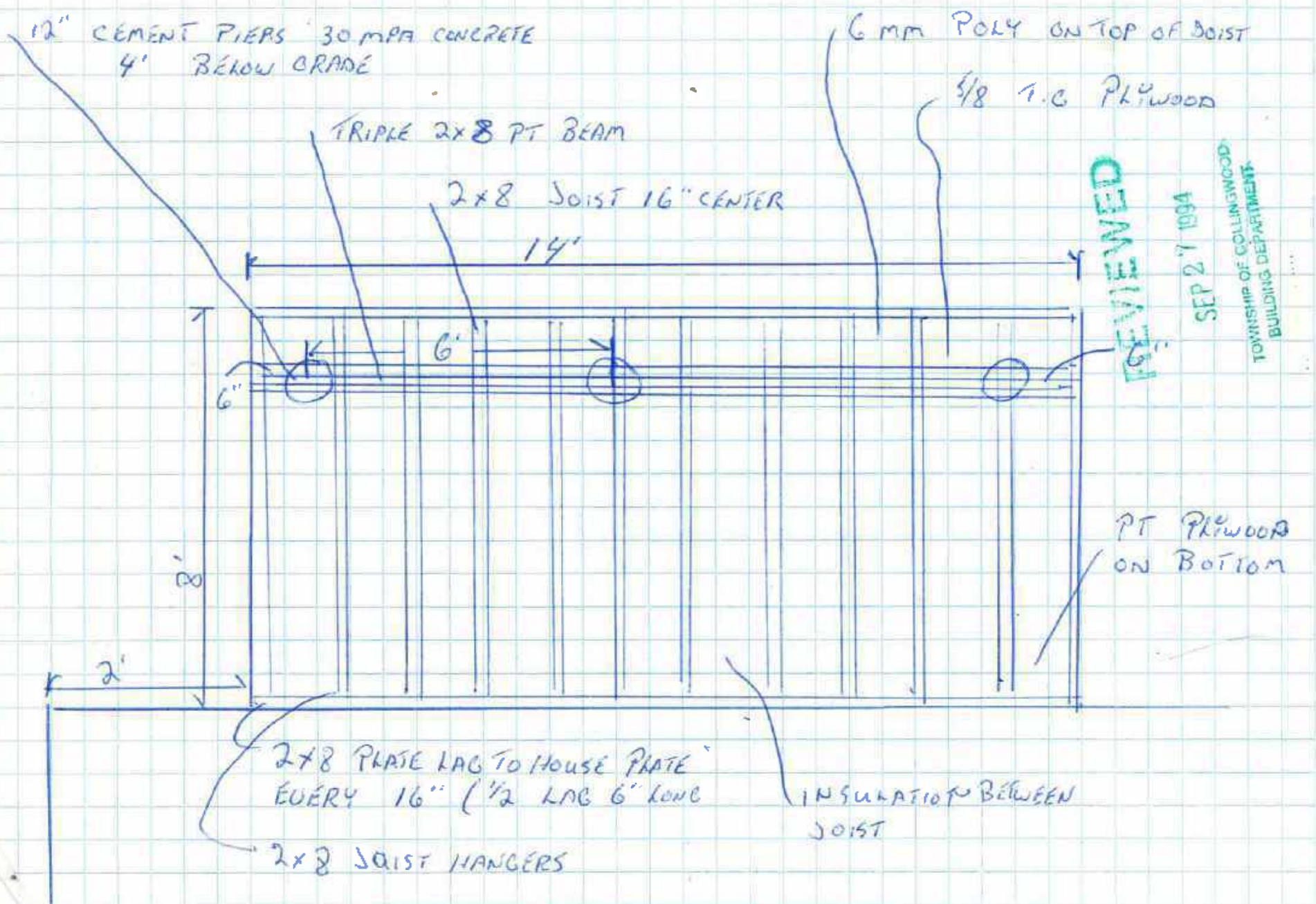
8'

2'

2x8 PLATE LAG TO HOUSE PLATE  
EVERY 16" (1/2 LAG 6" LONG)

INSULATION BETWEEN  
JOIST

2x8 JOIST HANGERS



WEST

EAST

REVIEWED

SFP 2'7 1994

TOWNSHIP OF COLLINGWOOD  
BUILDING DEPARTMENT

CRUIS TRONC

2x8 HEADER

4x6  
WINDOW

2x6  
SILL  
1600

2x6  
CRIPP  
16

CEDAR SIDING  
TO MATCH HOUSE  
FELT PAPER  
1/4 ASPHALT

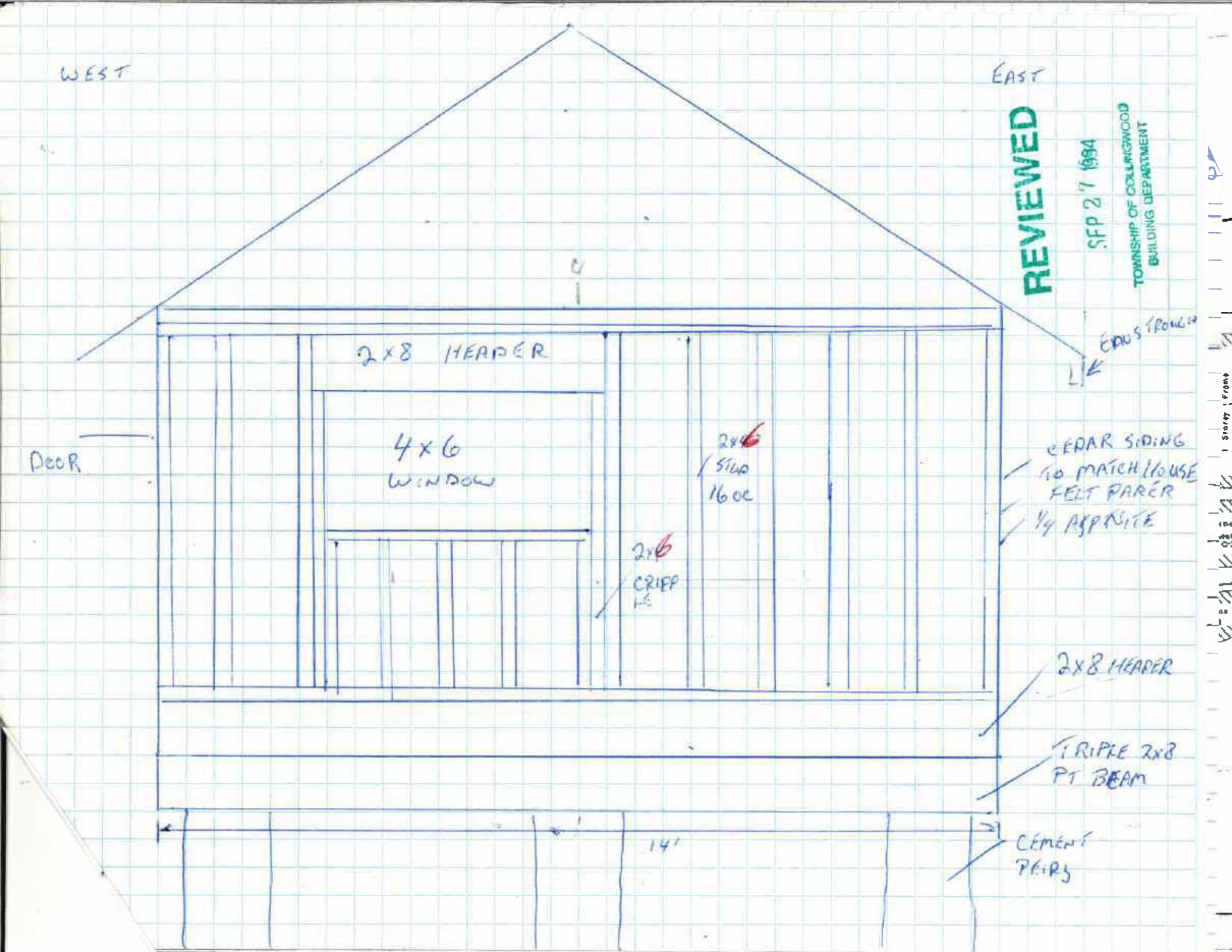
2x8 HEADER

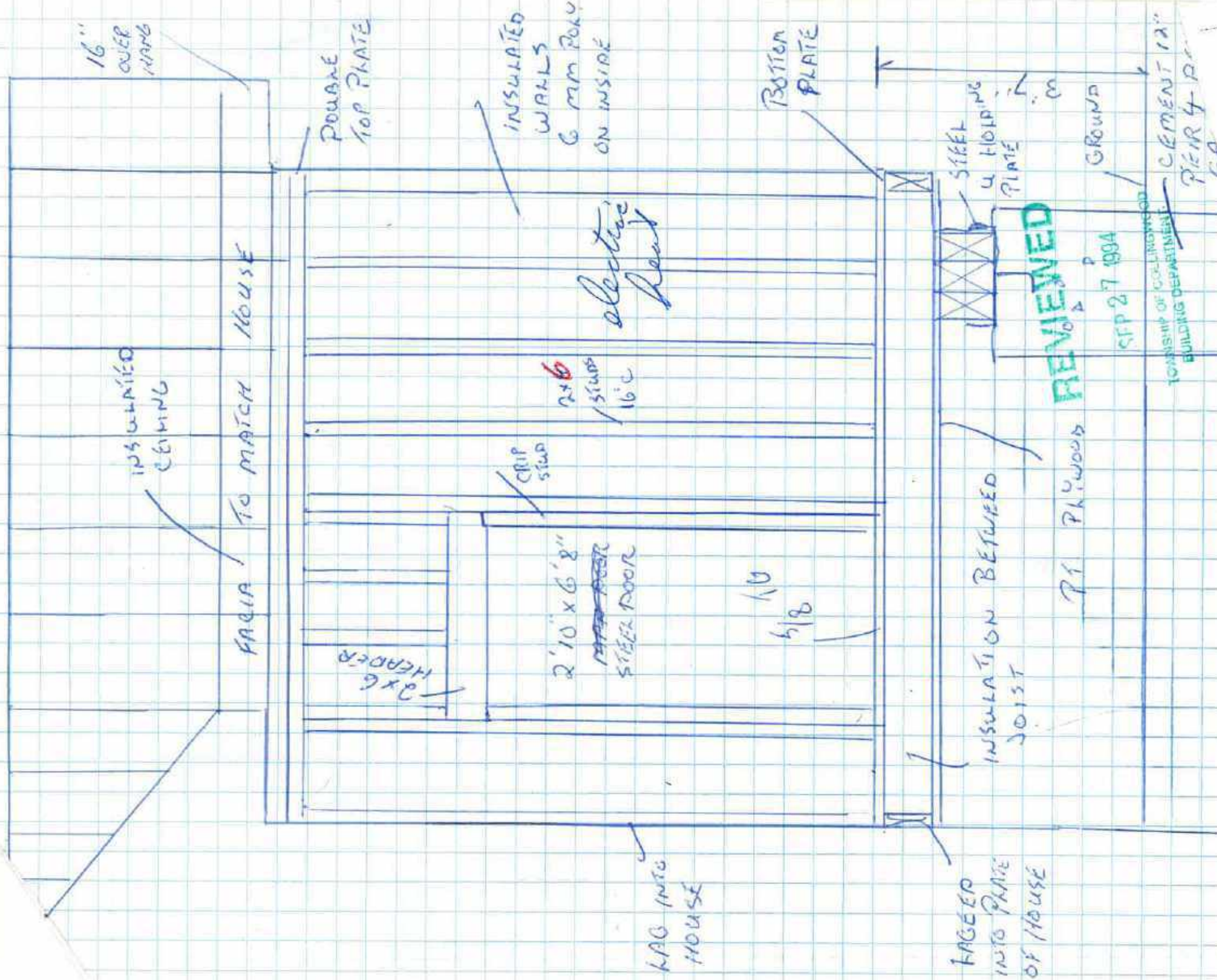
TRIPLE 2x8  
PT BEAM

CEMENT  
PIERS

DOOR

14'





933 11/11/94

1 Story

From

BRUCE GREY OWEN SOUND HEALTH UNIT  
BUILDING ALTERATION APPRAISAL FORM

PLEASE COMPLETE EACH QUESTION COMPLETELY

Name of owner: [redacted] Phone No. [redacted]

Mailing address: [redacted]  
LOND

Legal description: Lot 23-24 Sub lot \_\_\_\_\_ Concession \_\_\_\_\_ Reg. Plan No. 931

Township COLLINGWOOD County GREY

Street Address LAKE DRIVE

Size of lot: Frontage 30.70 m Depth 48.65 m Area 1493.55 s.m

Details of proposed alteration and/or additions (including total number of bedrooms, additional plumbing fixtures proposed and total square footage): 8' x 14' - MUD ROOM  
ON FRONT OF BUILDING (112 SQFT)  
- "ON CONCRETE PILLARS"

Details of sewage system (date installed, size of septic tank and leaching bed, Use Permit number, etc.)  
\* GO TO SURVEY

Details of water supply (location, type of well, etc.): AT CONCRETE WELL  
AT BACK & NEAR BAY

Sketch of proposal (existing structures, sewage system, water supply, proposed alterations to structure, etc.) :  
(Please provide sketch on reverse side)

Is the property currently subject to a Minor Variance, Zoning, Official Plan Amendment, or Niagara Recreational Development Permit?  
yes  no

If yes, please provide details: \_\_\_\_\_

Travel directions to lot:

HWY 26 - TURN NORTH COLLINGWOOD TWP #10 - TILL END - TURN LEFT AT BAY 14 COTTAGES ON RIGHT (RED GARAGE DOOR CEDAR SIDING)

Please submit completed form to the CLARKSBURG HEALTH UNIT office.

I certify the above information to be correct

SEPT 24/94  
Date

HEALTH UNIT USE ONLY

Recommended for approval  Not recommended for approval \_\_\_\_\_

Environment Technician [Signature] Environment Supervisor \_\_\_\_\_ Date Oct 12/94

Personal information contained in this form is collected under the authority of the Environmental Protection Act R.S.O. 1990, Ch.E.19, Part VIII. This information will be used for the principal purpose of establishing compliance with the Act and will be shared with the municipality. Questions concerning the collection of this data should be directed to an Environment Supervisor at a health unit office.

# **D. C. SLADE CONSULTANTS**

PLANNING & DEVELOPMENT

243 HURONTARIO ST., COLLINGWOOD, ONT. L9Y 2M1  
Tel. (705) 444-1830 Fax (705) 444-0012

August 12, 1996

Council of the Township of Collingwood  
P.O. Box 40, Hillcrest Drive  
Clarksburg, Ontario  
N0H 1J0

## **Re: Application for Work Permit**

**Part of Lots 36 and 37, Concession 11  
Township of Collingwood, County of Grey  
Ministry of Natural Resources File No. WP70796-13  
Our File No. 200/96**

We have been retained by \_\_\_\_\_, owner of the above noted lands to prepare and submit a Work Permit Application to the Ministry of Natural Resources. The approval of a permit will allow the removal of no more than 4 metres of an existing breakwall. The rocks and rubble removed from the existing breakwall will be used to re-stabilize the remaining breakwall.

Attached for your review is:

- i) a copy of the signed application form
- ii) location plan
- iii) Schedule "F-1" - Existing Situation
- iv) Schedule "F-2" - Proposed Changes
- v) signatures of adjacent land owners
- vi) Fisheries Field Check prepared by Aquatic and Wildlife Services

As noted on the application, we have allowed ourselves a window of approximately two weeks, however, it will only take two days to complete the work as proposed.

We would appreciate your review of the application and accompanying Schedules and provide us with a resolution during the Council meeting this evening.

Yours truly,

A handwritten signature in cursive script, appearing to read "Miriam Vasni".

Miriam Vasni

c.c.:

Marie Ditner

Encls.

# **D. C. SLADE CONSULTANTS**

PLANNING & DEVELOPMENT

243 HURONTARIO ST., COLLINGWOOD, ONT. L9Y 2M1  
Tel. (705) 444-1830 Fax (705) 444-0012

August 12, 1996

Ms. Marie Ditner  
Ministry of Natural Resources  
611 - 9th Avenue East  
Owen Sound, Ontario  
N4K 3E4

## **Re: Application for Work Permit**

-----  
**Part of Lots 36 and 37, Concession 11  
Township of Collingwood, County of Grey  
Ministry of Natural Resources File No. WP70796-13  
Our File No. 200/96**

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- v) signatures of adjacent land owners
- vi) Fisheries Field Check prepared by Aquatic and Wildlife Services

As noted on the application, we have allowed ourselves a window of approximately two weeks, however, it will only take two days to complete the work as proposed.

We would appreciate your review of the application and accompanying Schedules and provide us with any comments you may have prior to the preparation of the actual Work Permit for signature by the Ministry.

Yours truly,

A handwritten signature in cursive script, appearing to read 'Miriam Vasni', written in dark ink on a white background.

Miriam Vasni

c.c.:

Encls.



John Morton  
Aquatic and Wildlife Services  
R.R.#1 Shallow Lake, Ontario  
N0H 2K0

August 2, 1996

D. C. Slade Consultants  
243 Horontario Street  
Collingwood, Ontario  
L9Y 2M1

Attention: Dave Slade

Dear Mr. Slade:

**SUBJECT: Fisheries Field Check, Lora Bay Area**  
**Work Permit Application - Bruce Sinclair, WP70796-13**  
**Collingwood Township, Grey County - File Number 200/96**

The following is the field evaluation for fishery concerns at the Bruce Sinclair property, part Lots 36 and 37, Concession 11, of Collingwood Township, as required for the Ontario Ministry of Natural Resources (MNR) Work Permit Application. The site visit was completed by myself on morning of August 1, 1996. Comments are as follows:

- 1) Observations at site
  - reed area at proposed channel clearing is approximately 8 metres in width by 18 metres in length with an average depth of 25 centimetres
  - reed bed composition : 90%-hardstem bulrush
    - 8% spikerush
    - 1% cattail
    - 1% willow shrub
  - all emergent vegetation, no submergent vegetation.
  - bottom substrate is primarily rock rubble with 2 - 8 centimetres of overlaying silt, fine clay and sand particles, very unstable.
  - reed density is sparse ranging from 5 to 100 plants per .5 square metres of surface area (averaging approximately 30 plants per)
  - north side of breakwall drops off quickly, in excess of 2.5 metres in depth
  - small pockets of reed growth existing west of site but primarily a rock rubble (hard) shoreline
  - hand netting throughout reed site produced only one johnnydarter (2 more

- observed) and a few aquatic insects (water boatman, water striders and freshwater shrimp) no invertebrates discovered in bottom samples, some small crustaceans
- small pockets of submergent vegetation found throughout protected shoreline area. Species comprised of Canada waterweed, milfoil and smartweed. The largest concentrations (approximately 1 metre by 3 metres) occurring midway between shoreline and breakwall off lots number 8 and 3, in 1.25 metres of water.
2. Background Check
- No information available within MNR document "Owen Sound District Fisheries Management Plan 1986 - 2000".
  - No information currently available from Lake Huron Fisheries Management and Assessment Unit on significant shoreline fisheries habitat areas.
3. Fisheries Concerns and Recommendations
- Offshore breakwalls can have a detrimental effect on fish habitat and water quality by changing water movement patterns in nearshore environments and increasing suspended sediment and turbidity of the water.
  - By providing a 6 metre opening in the existing breakwall more water movement and less siltation of the littoral zone in this specific site would be beneficial.
  - The current emergent reed bed provides little fisheries habitat due to the heavy and unstable sediment trapping effect. The submergent weed beds do provide some adequate fisheries habitat but are under stress and appear to be thinning out due to the heavy sediment loading. Again, with more water movement in this area, I believe these submergent weed beds will provide a greater positive impact to the fisheries habitat.
- A) Opening within offshore breakwall should take place opposite lot number 4. Opening should not exceed 6 metres with removed rock rubble placed on top of existing breakwall and/or used for shoreline protection along lot #2 above the highwater mark. No "curving" effect should be undertaken within the breakwall opening as this will only cause more disturbance to water pattern movements.
4. Tentative proposed dredging (lot 6,7,8)
- Any dredging that occurs should remain opposite lots 6 and 7 and only the eastern portion of lot 8. The aquatic submergent weed bed on the western half of lot 8 must be maintained as fisheries habitat. As this is a communal dredging, width should not exceed 8 metres.

page 3

D.C. Slade

I believe these recommendations satisfy the fisheries concerns for this application. If you have any further questions or concerns contact the undersigned at (519)372-2303. Photographs of existing site conditions will be kept on file. All other conditions under schedule "F" to be set by your firm.

Yours sincerely

A handwritten signature in black ink, appearing to read "John D. Morton". The signature is fluid and cursive, with a long horizontal stroke at the end.

John D. Morton  
Aquatic and Wildlife Services

JDM/dd



Ministry of Natural Resources  
Ministère des Richesses naturelles

# Application for Work Permit Demande de permis d'exploitation

Part 1  
Partie 1

**Applicant (eg. landowner, licensee, permittee, etc.) (Cannot be a subcontractor)**  
**Demandeur (ex. : propriétaires fonciers, détenteurs de permis, etc.) (Ne doit pas être un sous-traitant)**

Name/Nom	Business Phone/Tél. (Bureau)	Residence Phone/Tél. (Résidence)
Mailing Address/Adresse postale		Postal Code/Code postal

**Site Contractor or Person in Charge/Entrepreneur ou responsable sur place**

Name/Nom <b>David Slade</b>	Business Phone/Tél. (Bureau) <b>705-444-1830</b>	Residence Phone/Tél. (Résidence)	Radio Contact Available/Radio <input type="checkbox"/> Yes/Oui <input checked="" type="checkbox"/> No/Non
Mailing Address/Adresse postale <b>243 Hurontario Street, Collingwood, Ontario</b>			Postal Code/Code postal <b>L9Y 2M1</b>

**Type of Work Proposed - Please indicate and complete the appropriate additional part (see reverse)**

**Type de travaux prévus - Préciser et remplir la partie appropriée (verso)**

- Forestry / Forêt  
 Mineral Exploration / Exploration minière  
 Building Construction / Construction de bâtiments  
 Work on Shorelands / Travaux sur des terres submergées  
 Work Within a Waterbody / Travaux submergés  
 Roads or Trails / Routes ou pistes

**Location of Work Permit Area/Emplacement**

Township, Municipality, Base map No. or Lot and Concession, Location, Subdivision or Mining Claim or U.T.M. No. Canton, municipalité, carte de base n° ou parcelle, concession, emplacement, subdivision ou N° du MTU ou concession minière <b>Part of Lots 36 &amp; 37, Conc. 11, Twp. of Collingwood</b>	
Other i.e. Waterbody (describe) Autre p. ex. cours d'eau (décrire) <b>Nottawasaga Bay of Georgian Bay</b>	
Camp Location Emplacement du camp	No. of Workers on Site Nbre de travailleurs sur le site

**Ownership of Work Site/Propriétaire du terrain**

**Crown Land/Terres de la Couronne**

Timber Licence/Permis de coupe	Land Use Permit/Permis d'utilisation du terrain	Other/Autre
--------------------------------	---	-------------

**Private Land/Terres privées**

Private Lands of - Applicant/Appartenant au demandeur

- Yes / Oui  
 No / Non  
 Other (specify) / A d'autres (préciser qui)

**Effective Date(s)/Dates**

Start Date/Date de début des travaux <b>August 19, 1996</b>	Finish Date/Date de fin des travaux <b>August 31, 1996</b>
--	---

**\*\*To complete work will only require 2 days.**

**Equipment to be Used/Matériel qui sera utilisé**

Please specify/Préciser  
**Hy-Ho & Bucket**

**Notes:**

The issuance of this permit does not relieve the applicant from the responsibility of acquiring any other agency, board, government, or other approvals as may be required.

If an applicant requires a copy of this application, he/she should retain copy prior to submitting.

The information obtained on this application is a public record which is accessible upon request.

I/We hereby agree to rely solely upon the terms and conditions of the written work permit issued pursuant to this application. Any changes, amendments to the written work permit must be approved in writing by MNR.

I certify the information given in this application is true.

**Remarque :**

La délivrance de ce permis n'exonère pas le détenteur d'obtenir les autorisations qui pourraient être exigées par d'autres gouvernements, organismes, commissions, etc.

Si le demandeur en a besoin, il doit conserver un exemplaire de cette demande avant de la soumettre.

Les renseignements donnés ici peuvent être rendus publics sur demande.

J'accepte de me conformer strictement aux conditions écrites du permis d'exploitation émis pour la présente demande. Tout changement ou toute modification au dit permis d'exploitation doit être approuvé par écrit par le MNR.

Je certifie que les renseignements donnés ici sont véridiques.

Signature of Applicant/Signé par	Position/Poste	Date
Signature of Contractor (if applicable) Signature de l'entrepreneur (s'il y a lieu)	Position/Poste	Date
Date Application Received in Office Date de réception de la demande au bureau		



# Application to Do Work on Shorelands / Demande de permis de travaux sur des rives

## Part D / Partie D

- I Complete applicable sections.
- II Include proof of ownership (e.g. copy of deed and, if available, a copy of survey plan) or indicate property lines.
- III Include sketches/drawings/survey plans as indicated on the reverse of this form.

- I Remplir les parties appropriées.
- II Joindre une preuve de propriété (le cas échéant, copie d'acte de vente, de plan cadastral) ou indiquer les limites de propriété.
- III Joindre des croquis, dessins, plans comme l'indique le verso de cette formule.

Note: Application will not be processed unless the sketches have been completed and attached to the application.

Remarque: Les demandes reçues sans ces documents ne seront pas acceptées.

- IV Applications may be required to include evidence that notice of the proposed work has been provided to at least the two immediately adjacent neighbours and that they have been provided reasonable opportunity to comment on the proposed work.
- V Include municipality's comments of the project, where applicable, (i.e. for dredging or constructing improvements).

- IV On peut exiger une preuve qu'au moins les deux voisins immédiats ont été avisés des travaux et qu'ils ont eu une possibilité raisonnable de faire des commentaires sur ces travaux.
- V Joindre les commentaires de la municipalité, le cas échéant (p. ex. pour le dragage ou la construction d'améliorations).

### 1) Filling/Remblais

a) Purpose/But			
b) Dimensions of Area to be Filled: / Dimensions de la surface à remblayer		Length/Longueur	Width/Largeur
c) Type of Material to be Used (Please check) / Types de matériaux qui seront utilisés (encadrer)			
<input type="checkbox"/> Sand / Sable	<input type="checkbox"/> Earth / Terre	<input type="checkbox"/> Gravel / Gravier	<input type="checkbox"/> Armour Stone / Pierre
		<input type="checkbox"/> Rock Rubble / Morceaux de roche	<input type="checkbox"/> Other (indicate) / Autres (préciser)
d) Manner of Preventing Erosion or Silting / Méthode pour prévenir l'érosion ou l'envasement			

### 2. Dredging/Dragage

a) Purpose/But			
b) Area to be Dredged / Surface à draguer		Length/Longueur	Average Water Depth / Profondeur moyenne de l'eau
c) Type of Material (Check box and indicate approx. %) / Types de matériaux (encadrer et donner le % approx.)			
<input type="checkbox"/> Sand / Sable _____ %	<input type="checkbox"/> Marsh / Marais _____ %	<input type="checkbox"/> Silt / Vase _____ %	<input type="checkbox"/> Gravel / Gravier _____ %
		<input type="checkbox"/> Clay / Argile _____ %	<input type="checkbox"/> Rock / Roche _____ %
d) Indicate Disposal Location of Dredged Material / Préciser où le matériau enlevé sera déposé			
e) Proposed Method of Siltation/Erosion Protection (i.e. straw bales, silt curtain, etc.) / Méthode prévue pour prévenir l'envasement ou l'érosion (p. ex. balles de paille, rideau de vase, etc.)			

### 3) Boat Launch/Ramp/Rampe/Lancement de bateaux

a) Dimensions	b) Material to be Used / Matériaux qui seront utilisés
---------------	--

### 4) Construction of Dock, Boathouse, Breakwall / Construction d'appontements, abris à bateau, brise-lames

a) Purpose/But			
To remove a 20 foot portion of existing breakwall (see Schedules "F-1" and "F-2")			
b) Dimensions		Length/Longueur	Height/Hauteur
		20 ft.	5 ft.
c) Materials Used in Construction (if material has a preservative, also indicate what type) / Matériaux qui seront utilisés (si ces matériaux sont traités avec un préservatif, préciser lequel)			
d) Construction Details (i.e. type of support - concrete, wooden crib) / Détails de la construction (p. ex. type de support - charpente en bois, en béton)			
Rocks removed from existing breakwall will be added to the north sides of remaining breakwall.			

### 5) Other Works / Autres travaux (Please Specify) / Préciser

eg. Pest exploration - indicate location, type - auger or backhoe and degree / p. ex. indiquer l'endroit, le type de pelle rétrocaveuse ou de tarière, ainsi que le degré de la pelle pour l'exploration de fourmières.
---

**Proposal**



**BRIAN DINSMORE  
EXCAVATING & HAULING LIMITED**  
R.R. 1  
THORNBURY, ONTARIO N0H 2P0  
(519) 599-2342

PROPOSAL SUBMITTED TO		DATE
STREET	JOB NAME	July 18, 1995
CITY, PROVINCE AND POSTAL CODE	JOB LOCATION	Cedarbeach Property Lora Bay, Thornbury
ARCHITECT	DATE OF PLANS	JOB PHONE

We hereby submit specifications and estimates for:

- 20 hours excavator dredging boat basin removing approximately 370 yd<sup>3</sup> of silted sand material - \$1500.00
- 20 hours front end loader moving dredgings to shore placing in front of cottage and loading remainder on trucks at street. - \$1,000.00
- 20 hours truck rental hauling away excess dredged material and disposal of. - \$1,000.00
- Supply approximately 30 field boulders for a retaining wall and cottage protection. - \$450.00
- Labour to install dry stack stone around cedars - \$400.00
- Supply top soil to cover filled area - \$500.00
- Float service for excavator - \$150.00

We propose hereby to furnish material and labour - complete in accordance with above specifications, for the sum of:

Five Thousand dollars (\$ 5,000.00 )

Payment to be made as follows:

Payment in full upon completion

All material is guaranteed in manner according to conditions involving extra charge over and above or delays beyond our control. Our workers are fully covered.

FEED FAX THIS END

**FAX**

To: Bruce Lincoln  
 Dept.:  
 Fax No: 905-779-5271  
 No. of Pages: 1  
 From: Brian Dinsmore  
 Date: July 18/95  
 Company:  
 Fax No.: 519-599-2209  
 Comments: Budget for shore work

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Authorized Signature Brian Dinsmore

Note: This proposal may be withdrawn by us if not accepted within \_\_\_\_\_ days.

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Signature \_\_\_\_\_

Signature \_\_\_\_\_

**Acceptance**  
and conditions are listed to do the work.

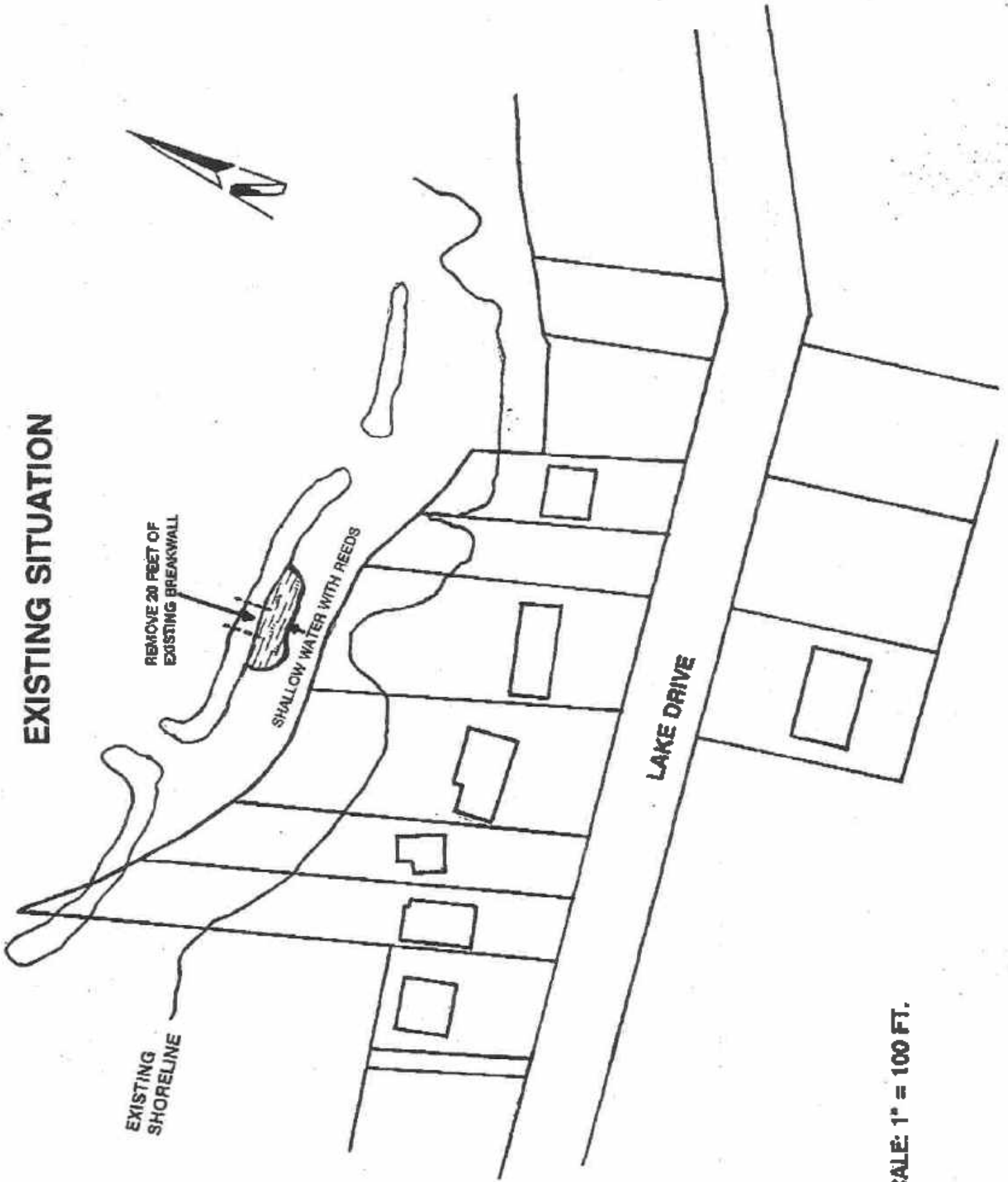
Date of Acceptance \_\_\_\_\_

Ashto

Post-it Fax our '90CE

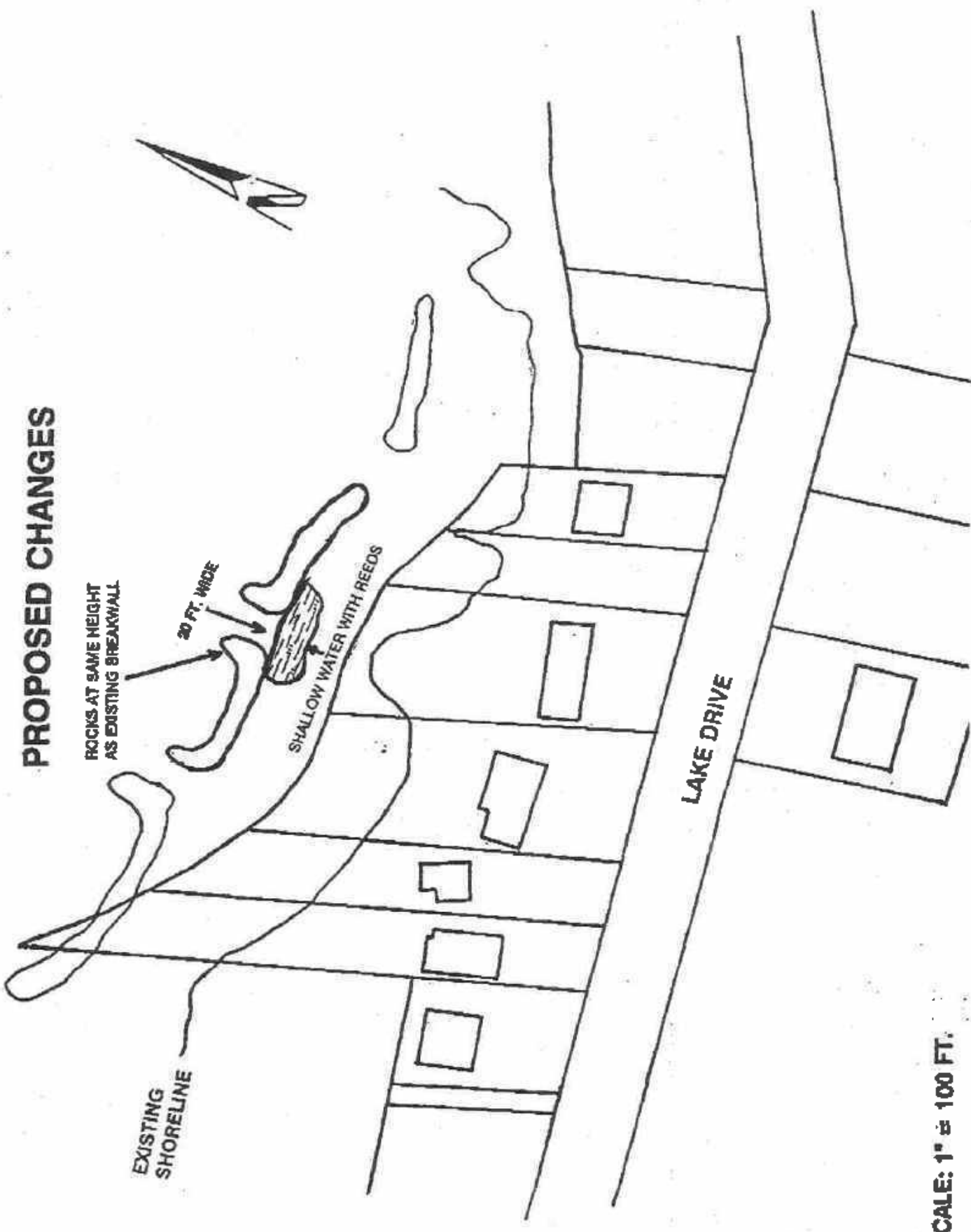
**SCHEDULE "F-1"**

**EXISTING SITUATION**



**SCALE: 1" = 100 FT.**

**SCHEDULE "F-2"**



**PROPOSED CHANGES**

**SCALE: 1" = 100 FT.**



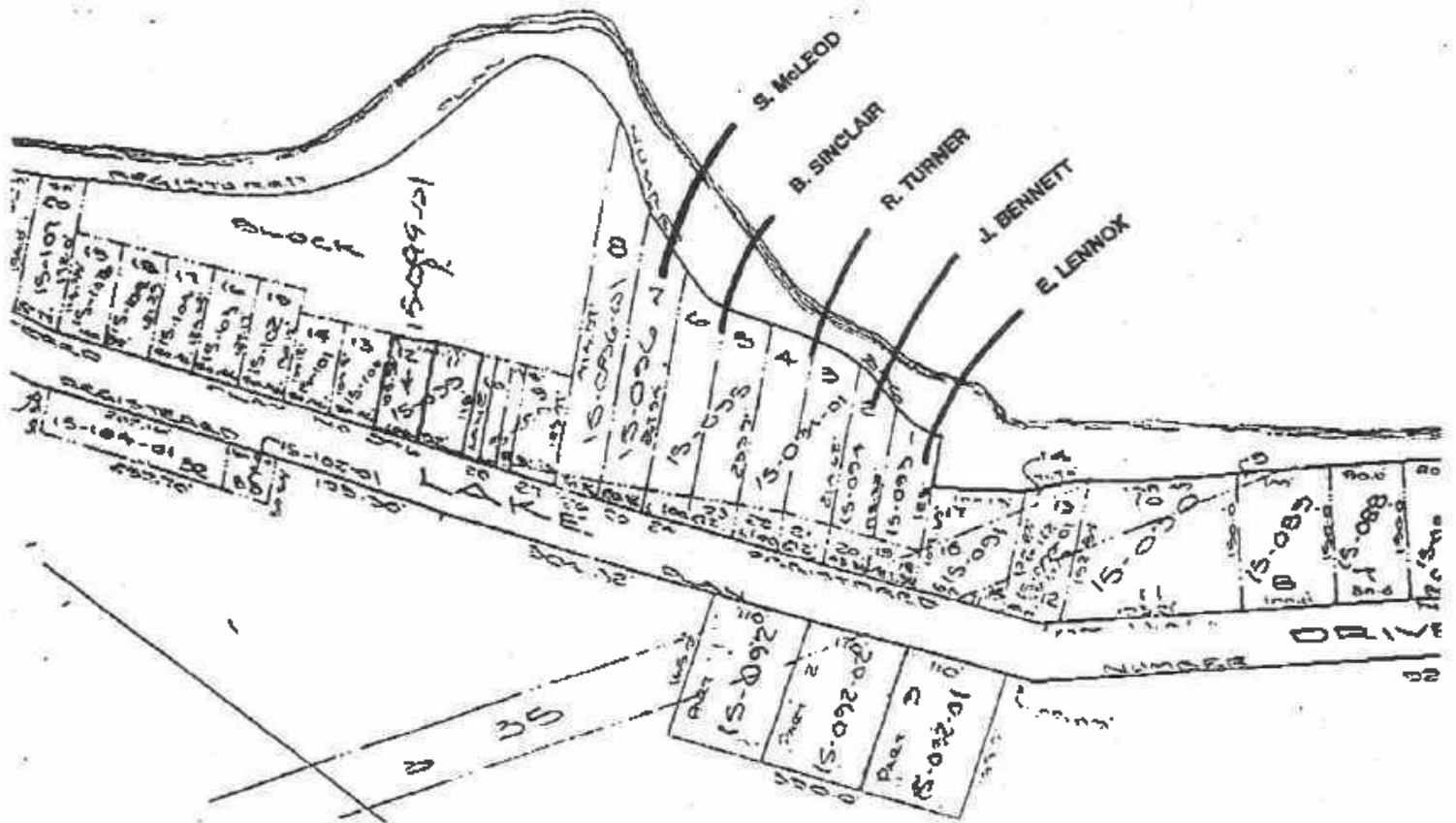






**LOCATION PLAN - As Indicated on Part D**

File No.: \_\_\_\_\_



**TO BE COMPLETED BY MUNICIPALITY**

PROPOSAL APPROVED: \_\_\_\_\_ YES \_\_\_\_\_ NO

COMMENTS: \_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_ Date

\_\_\_\_\_ Municipal Official



This permit is issued under the authority and provisions of the following indicated Provincial Acts and their regulations, and is subject to the limitations and provisions thereof and is also subject to the terms and conditions herein.  
 Ce permis est émis conformément aux dispositions des lois provinciales ci-après et des règlements y afférents et est sujet aux restrictions et dispositions de ces lois et règlements ainsi qu'aux conditions ci-énoncées.

- Lakes and Rivers Improvement Act/Loi sur l'aménagement des lacs et des rivières
- Section 13, Public Lands Act/Loi sur les terres publiques, article 13
- Section 2, Ontario Regulation 453/96, as amended, Public Lands Act/Loi sur les terres publiques, Règlement de l'Ontario 453/96 tel que modifié, article 2

**Note :** The issuance of this permit does not relieve the applicant from the responsibility of acquiring any other agency, board, government, etc. approval as may be required nor does it relieve the permittee from the requirements of any other legislation.

**Remarque :** La délivrance d'un permis n'exonère pas le demandeur de l'obligation d'obtenir l'autorisation de tout autre organisme, commission, gouvernement, etc. qui pourrait être exigée, non plus qu'elle exempte le détenteur des dispositions des lois.

The Permit is issued to : Ce Permis est délivré à :

Name of Permittee/Nom du détenteur :	
Post Office Address/Adresse postale :	

To conduct an operation from 15th day of May, 2002 to and including the 15th day of September, 2003.  
 Pour effectuer des travaux du jour de , 20 jusqu'au jour de , 20 .

at location/à emplacement: Georgian Bay in front of Lot 6, Lora Bay, Town of the Blue Mountains, (former Collingwood Twp.)

as per your application dated/conformément à la demande de permis en date du : March 31, 2002  
 for the purpose of:/Aux fins de :  
 - dredge shorelands, as per application Part D (2).

Subject to the following conditions:/Et sous les conditions suivantes :

1. The Permittee shall keep this permit or a true copy thereof on the work permit area./  
 Le détenteur conservera ce permis ou une copie conforme sur les lieux des travaux.
2. The person in charge of the operation conducted under this permit shall produce and show this permit or the true copy kept on the work permit area to any officer whenever requested by the officer./  
 Le responsable des travaux couverts par ce permis doit produire le permis ou sa copie conforme si un agent lui demande.
3. Other conditions as listed on the reverse side of this permit as well as those contained in Schedule(s) D attached.  
 Autres conditions énoncées au verso de ce permis ainsi que celles apparaissant aux annexes suivantes

Place of Issue/Émis à : Owen Sound	
Date/Date de délivrance : August 27, 2002	Signature of Issuing Officer/Signature du délivreur :

Personal Information on this form is collected under the authority of Section 13 of the Public Lands Act, R.S.O. 1990, the Lakes and Rivers Improvement Act, R.S.O. 1990, and Ontario Regulation 453/96 as amended, and Ontario Regulation 975 as amended, and the information will be used for the purposes of the Act and Regulations. Questions about this information should be directed to the local MNR office.  
 Les renseignements personnels exigés dans les présentes sont recueillis en vertu de la Loi sur l'aménagement des lacs et des rivières et de l'Ontario 453 tel que modifié et du règlement 975 de l'Ontario tel que modifié. Ils seront utilisés selon les termes de la Loi et des règlements. Veuillez adresser toute question à ce sujet au bureau du MRN. Une liste des bureaux du MRN avec adresses et numéros de téléphone en français est disponible.



Ministry of / Ministère des  
Natural Resources / Richesses  
naturelles

Application for Work Permit  
Demande de permis d'exploitation

Part 1  
Partie 1

Applicant (eg. landowner, licensee, permittee, etc.) (Cannot be a subcontractor)  
Demandeur (ex. : propriétaires fonciers, détenteurs de permis, etc.) (Ne doit pas être un sous-traitant)

Name/Nom	Business Phone/Tél. (Bureau)	Residence Phone/Tél. (Résidence)
Mailing Address/Adresse postale		Postal Code/Code postal

Site Contractor or Person in Charge/Entrepreneur ou responsable sur place

Name/Nom	Business Phone/Tél. (Bureau)	Residence Phone/Tél. (Résidence)	Radio Contact Available/Radio <input type="checkbox"/> Yes/Oui <input type="checkbox"/> No/Non
Mailing Address/Adresse postale			Postal Code/Code postal

Type of Work Proposed - Please indicate and complete the appropriate additional part(s)

Type de travaux prévus - Préciser et remplir la partie appropriée

- Building Construction / Construction de bâtiments  
 Work on Shorelands / Travaux sur des terres  
 Work Within a Waterbody / Travaux submergés  
 Roads or Trails or Water Crossing / Routes ou piste ou traverse de cours d'eau

Location of Work Permit Area/Emplacement

Township, Municipality, Basemap No. or Lot and Concession, Location, Subdivision or Mining Claim or U.T.M. No. Canton, municipalité, carte de base n° ou parcelle, concession, emplacement, subdivision ou N° du MTU ou concession minière	
Other i.e. Waterbody (describe) Autre p. ex. cours d'eau (décrire)	
Camp Location Emplacement du camp	No. of Workers on Site Nombre de travailleurs sur le site

Private Land/Terres privées

Private Lands of - Applicant/Appartenant au demandeur <input type="checkbox"/> Yes / Oui <input type="checkbox"/> No / Non <input type="checkbox"/> Other (specify) / À d'autres (préciser quel)
---

Effective Date(s)/Dates

Start Date/Date de début des travaux	Finish Date/Date de fin des travaux
--------------------------------------	-------------------------------------

Equipment to be Used/matériel qui sera utilisé

Please specify/Préciser
-------------------------

Note:  
The issuance of this permit does not relieve the applicant from the responsibility of acquiring any other agency, board, government, or other approvals as may be required.

Remarque:  
La délivrance de ce permis n'exonère pas le détenteur d'obtenir les autorisations qui pourraient être exigées par d'autres gouvernements, organismes, commissions, etc.

If an applicant requires a copy of this application, he/she should retain copy prior to submitting.

Si le demandeur en a besoin, il doit conserver un exemplaire de cette demande avant de la soumettre.

Personal information on this form is collected under the authority of Section 13 of the Public Lands Act, R.S.O. 1990 and Ontario Regulation 453/96 as amended and Ontario Regulation 975 as amended, and the information will be used for the purposes of the Act and Regulations. Questions about this information should be directed to the local MNR office. MNR office addresses and phone numbers are listed on the reverse of this form.

Les renseignements personnels exigés dans les présentes sont recueillis en vertu de l'article 13 de la Loi sur les terres publiques, S.R.O. 1990 et du règlement de l'Ontario 453/96 tel que modifié et du règlement 975 de l'Ontario tel que modifié. Ils seront utilisés selon les termes de la Loi et des règlements. Veuillez adresser toute question à ce sujet au bureau local du MNR. Une liste des bureaux du MNR avec adresses et numéros de téléphone se trouve au verso.

I/We hereby agree to rely solely upon the terms and conditions of the written work permit issued pursuant to this application. Any changes, amendments to the written work permit must be approved in writing by MNR.

J'accepte de me conformer strictement aux conditions écrites du permis d'exploitation émis pour la présente demande. Tout changement ou toute modification au/di permis d'exploitation doit être approuvé par écrit par le MNR.

I certify the information given in this application is true.

Je certifie que les renseignements donnés ici sont véridiques.

Signature of	Position/Poste	Date
Signature of contractor (if applicable) Signature de l'entrepreneur (s'il y a lieu)	Position/Poste	Date
Date Application Received In Office Date de réception de la demande		



Ministry of  
Natural  
Resources

Ministère des  
Richesses  
naturelles

Application to Do Work on Shorelands  
Demande de permis de travaux sur des rives

Part D  
Partie O

Ontario

- I Complete applicable sections.
- II Include proof of ownership (e.g. copy of deed and, if available, a copy of survey plan) or indicate property lines.
- III Include sketches/drawings/survey plans as indicated on the reverse of this form

Note: Application will not be processed unless the sketches have been completed and attached to the application.

- IV Applications may be required to include evidence that notice of the proposed work has been provided to at least the two immediately adjacent neighbours and that they have been provided reasonable opportunity to comment on the proposed work.
- V Include municipality's comments of the project, where applicable, (i.e. for dredging or constructing improvements).

- I Remplir les parties appropriées.
- II Joindre une preuve de propriété (le cas échéant, copie d'acte de vente, de plan cadastral) ou indiquer les limites de propriété.
- III Joindre, des croquis, dessins, plans comme l'indique le verso de cette formule.

Remarque: Les demandes reçues sans ces documents ne seront pas acceptées.

- IV On peut exiger une preuve qu'au moins les deux voisins immédiats ont été avisés des travaux et qu'ils ont eu une possibilité raisonnable de faire des commentaires sur ces travaux.
- V Joindre les commentaires de la municipalité, le cas échéant (p. ex. pour le dragage ou la construction d'améliorations).

1) Filling/Rambiais

a) Purpose/But			
b) Dimensions of Area to be Filled: Dimensions de la surface à ramblayer	Length/Longueur	Width/Largeur	Depth of Water/Profondeur de l'eau
c) Type of Material to be Used (Please check) Types de matériaux qui seront utilisés			
<input type="checkbox"/> Sand <input type="checkbox"/> Earth <input type="checkbox"/> Gravel <input type="checkbox"/> Armour Stone <input type="checkbox"/> Rock Rubble <input type="checkbox"/> Other (indicate) (encadrer) <input type="checkbox"/> Sable <input type="checkbox"/> Terre <input type="checkbox"/> Gravier <input type="checkbox"/> Pierre <input type="checkbox"/> Morceaux de roche <input type="checkbox"/> Autres (préciser)			
d) Manner of Preventing Erosion or Siltation/Méthode pour prévenir l'érosion ou l'envasement			

2) Dredging/Dragage

a) Purpose/But <i>DREDGE BAY TO REGAIN BOAT ACCESS</i>			
b) Area to be Dredged Surface à draguer	Length/Longueur <i>75'</i>	Width/Largeur <i>60'</i>	Average Water Depth/Profondeur moyenne de l'eau <i>1 foot</i>
c) Type of Material (Check box and indicate approx. %)/Types de matériaux (encadrer et donner le % approx.)			
<input type="checkbox"/> Sand <input type="checkbox"/> Marsh <input type="checkbox"/> Silt <input type="checkbox"/> Gravel <input type="checkbox"/> Clay <input type="checkbox"/> Rock <input type="checkbox"/> Sable <input type="checkbox"/> Marais <i>101%</i> <input type="checkbox"/> vase <i>50%</i> <input type="checkbox"/> Gravier <input type="checkbox"/> Argille <i>40%</i> <input type="checkbox"/> Roche			
d) Indicate Disposal Location of Dredged Material/Préciser où le matériau entraîné sera déposé <i>DIRECTLY ON PROPERTY ABOVE HIGH WATER LINE</i>			
e) Proposed Method of Siltation/Erosion Protection (i.e. straw bales, silt curtain, etc.)/Méthode prévue pour prévenir l'envasement ou l'érosion <i>ROCK WALL WITH SILT CURTAIN</i>			

3) Boat Launch/Ramp/Rampe/Lancement de bateaux

a) Dimensions	b) Material to be Used/Matériaux qui seront utilisés
---------------	--

4) Construction of Dock, Boathouse, Breakwall/Construction d'appontements, abris à bateau, brise-lames

a) Purpose/But			
b) Dimensions	Length/Longueur	Width/Largeur	Height/Hauteur
c) Materials Used in Construction (if material has a preservative, also indicate what type)/Matériaux qui seront utilisés (si ces matériaux sont traités avec un préservatif, préciser lequel)			
d) Construction Details (i.e. type of support - concrete, wooden crib)/Détails de la construction (p. ex. type de support - charpente en bois, en béton)			

5) Other Works/Autres travaux (Please Specify)/préciser

e.g. Peat exploration - indicate location, type - auger or backhoe and degree  
p. ex. Indiquer l'endroit, le type de pelle rétrocaveuse ou de tarière, ainsi que le degré de la pente pour l'exploitation de tourbières.

## SHORELINE RELATED ACTIVITIES SCHEDULE 'D'

**PERMITTEE:** Bruce Sinclair  
**LOCATION:** Lora Bay, Lot #6, Town of the Blue Mountains  
**PERMIT NO:** WP70702-06

1. The Permittee shall not allow any deleterious material (as defined within the Canada Fisheries Act) caused by his/her activities, to enter or re-enter the waterbody.
2. The Permittee shall undertake the work in accordance with the approved application, and the approved sketch (attached).
3. Changes to the plans must be applied for in writing and approved by this Ministry prior to their implementation.
4. It is the proponent's responsibility to obtain all other permits/authorization from the appropriate governing agencies.
5. All work must take place between the applicant's property lines.
6. Refer to Department of Fisheries and Oceans letter dated August 19, 2002.

### NOTES:

-It is the contractor's responsibility to have knowledge of the Terms and Conditions of the Work Permit.

-Direction regarding fish habitat protection is provided by the Department of Fisheries and Oceans in the attached letter dated August 19, 2002.

-Commencement of this project will confirm that you have reviewed this work permit, conditions and approved sketch and you understand and agree to any changes that were made to the application and sketch. If you have any questions please contact the Ministry of Natural Resources prior to the start of the project.

-Failure to comply with this work permit, conditions and approved sketch is considered a violation under the Public Lands Act and /or the Federal Fisheries Act and their Regulations. Failure to comply can result in charges being laid and/or a court order or Minister's warrant being issued for the removal of the improvements and restoration of the site.





Fisheries  
and Oceans

Pêches  
et Océans

304-3027 Harvester Road  
P.O. Box 85060  
Burlington, Ontario  
L7R 4K3  
Fax: 905-639-3549

304-3027, chemin Harvester  
C.P. Box 85060  
Burlington (Ontario)  
L7R 4K3  
Fac: 905-639-3549

*Approved - ...  
S...  
NEW TIP*

Our file: *None reference*  
BU-02-1280



August 19, 2002

Dear Mr.

**SUBJECT: Dredge, Georgian Bay, Nottawasaga Bay, Town of the Blue Mountains.**

Fisheries and Oceans Canada - Ontario Great Lakes Area (DFO-OGLA) received your proposal to dredge for boat access, Nottawasaga Bay, Georgian Bay, Township of The Blue Mountains. Your proposal was received on May 28, 2002 and has been assigned the following file number and name:

**BU-02-1267 DREDGE, GEORGIAN BAY, NOTTAWASAGA BAY, TOWN OF THE BLUE MOUNTAINS.**

**Please refer to this number on your correspondence or inquiries.**

This letter is to advise you that I have reviewed the plans for the proposed work. Based on the information submitted to the office and from our visit to the site on July 16, 2002, it is my understanding that you wish to dredge an area within the existing breakwaters to allow safe boat access. You also want to remove some rocks from the breakwater east of your property in order to extend your well track. As discussed, only the vegetation up to 35 feet east of your dock is to be dredged for an adequate turn-around area. The material from the breakwaters will be moved above the High Water Mark.

Therefore, I have concluded that the proposed work will not result in the harmful alteration, disruption or destruction of fish habitat. This conclusion is based on the assumption that the latest information and drawings, as submitted to this office, are a fair and accurate representation of the proposed undertaking. In addition to the measures set out in the project proposal, the following mitigation measures, if incorporated into the project, are intended to prevent any potentially harmful impacts to fish and fish habitat:

- To protect local fish populations during their spawning and nursery periods, no in-water work or activity should occur between **September 15 and May 15**.
- Sediment and erosion control measures should be implemented prior to work and maintained during the work phase, to prevent entry of sediment into the water.

- All material removed from existing breakwaters should be placed above the High Water Mark (HWM). The HWM in Lake Huron is equal to 176.96 meters above sea level (International Great Lakes Datum - 1985). If you are unsure of the HWM elevation on your shoreline, please contact the undersigned. You may contact the Canadian Hydrographic Service web site at [www.chs.gc.ca](http://www.chs.gc.ca) for information on current water levels.
- Dredged material should be disposed on land above the HWM and suitably contained/stabilized to prevent the dredged material from re-entering the water.
- An in-water silt curtain should be in place around the perimeter of the work area prior to and during any dredging to prevent re-suspended sediment from spreading to adjacent areas. The silt curtain should remain in place until the sediment has settled.
- All disturbed areas on land should be stabilized and/or re-vegetated upon completion of work and restored to a pre-disturbed state or better.
- All materials and equipment used for the purpose of site preparation and project completion should be operated and stored in a manner that prevents any deleterious substance (e.g. petroleum products, silt, etc.) from entering the water.
- Vehicular/ equipment refuelling and maintenance should be conducted away from the water.
- Follow the Environmentally Friendly Practices outlined in the "Working Around Water?" series of fact sheets.

If the proposed work is carried out as described in the plans provided to DFO-OGLA and if the additional mitigation measures specified above are implemented, the proposed work will not be considered as contravening subsection 35(1) of the *Fisheries Act* which reads:

*"No person shall carry on any work or undertaking that results in the harmful alteration, disruption or destruction of fish habitat."*

Therefore, an authorization under subsection 35(2) of the *Fisheries Act* will not be necessary. If a harmful alteration, disruption or destruction of fish habitat occurs as a result of a change in the plans for the proposed works or failure to implement the additional mitigation measures specified above, prosecution under the *Fisheries Act* may be initiated.

Please note that this letter of advice does not release you of the responsibility for obtaining any other permits that may be required under federal, provincial or municipal legislation.

If you have any questions concerning the mitigation measures or should there be any changes to the proposed work, please contact me at (905) 639-6398 or by fax at (905) 639-3549



Brent Valere  
Habitat Impact Assessment Biologist  
Fisheries and Oceans Canada  
Ontario – Great Lakes Area

kv/BV

c.c. Jody Scheifley, OMNR – Owen Sound

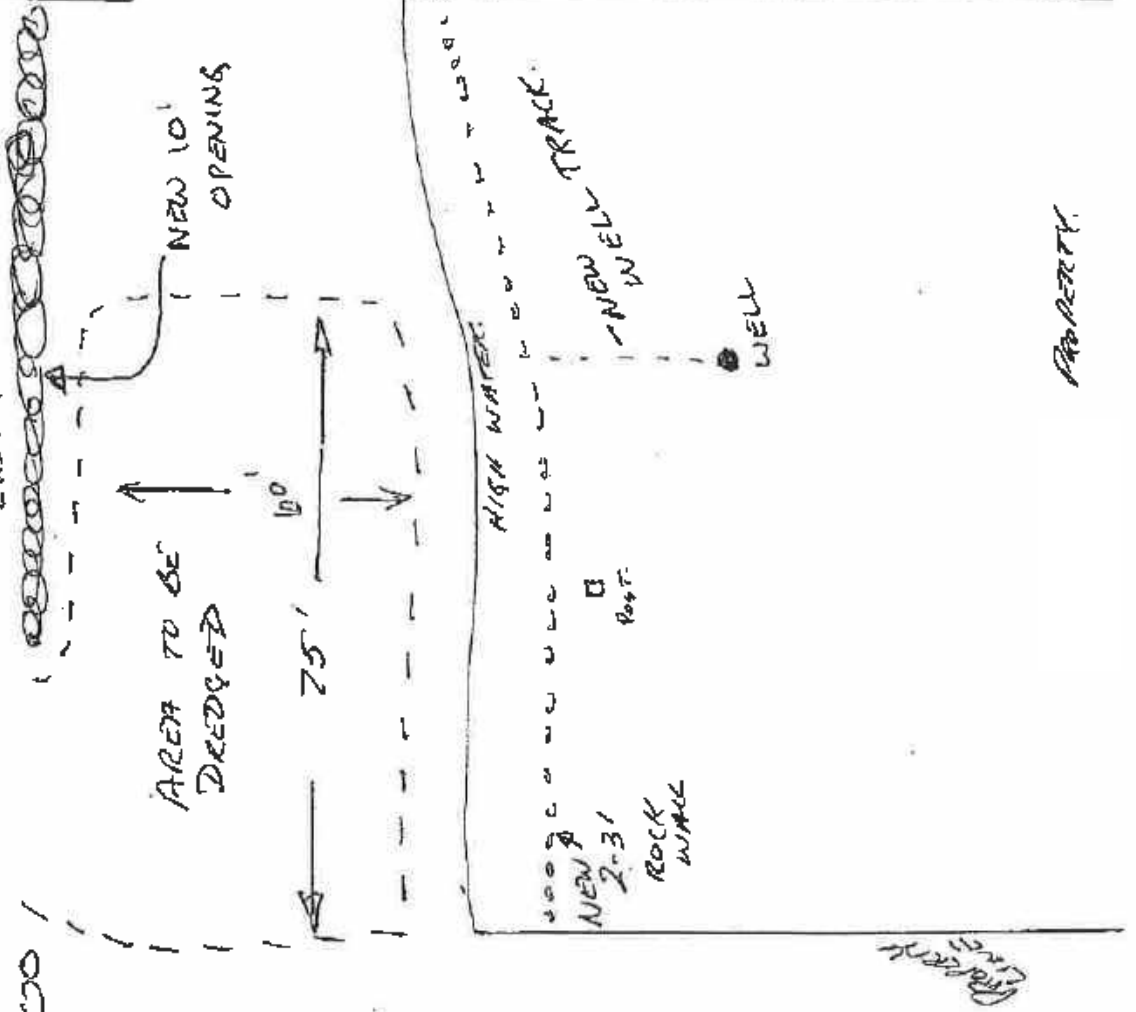
Enclosures *Working Around Water? What you should know about Fish Habitat. Fact Sheet #1*  
*Working Around Water? What you should know about Fish Habitat and Dredging. Fact Sheet #3*  
*Working Around Water? What you should know about Fish Habitat and Controlling Aquatic Plants. Fact Sheet #4*  
*Working Around Water? What you should know about Fish Habitat and the Effects of Silt and Sediment. Fact Sheet #11*  
*Working Around Water? What you should know about Fish Habitat and Fluctuating Water Levels on the Great Lakes. Fact Sheet #13*

**SKETCH - As Indicated on Part D (Sample Plans)**

(Please indicate the dimensions of the work proposed)

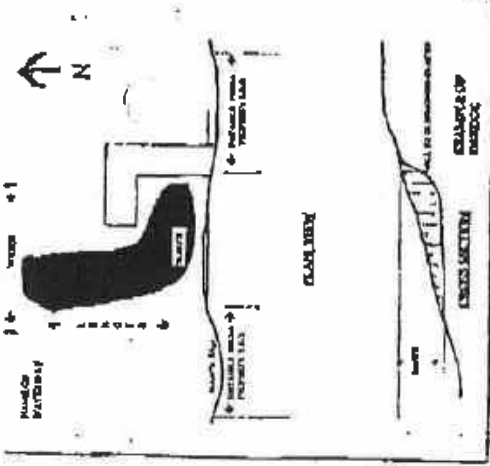
Please indicate sketch orientation

N ↑



WORK TO BE PERFORMED

1. DREDGING
2. NEW OPENING IN GRAIN
3. WELLY TRACK
4. ROCK WALL.  
 2-3' ON WEST SIDE  
 4' ON EAST SIDE  
 DUE TO ELEVATION



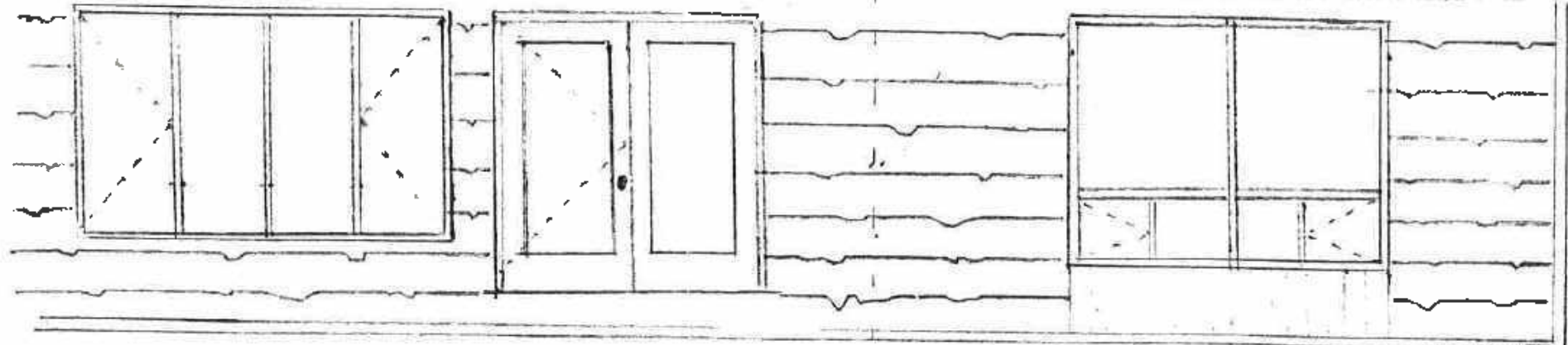
PROPERTY LINE  
 TURNERS

PROPERTY

PROPOSED ADDITION  
for RESIDENCE

134 LAKE DR  
Town of The Blue Mtns.

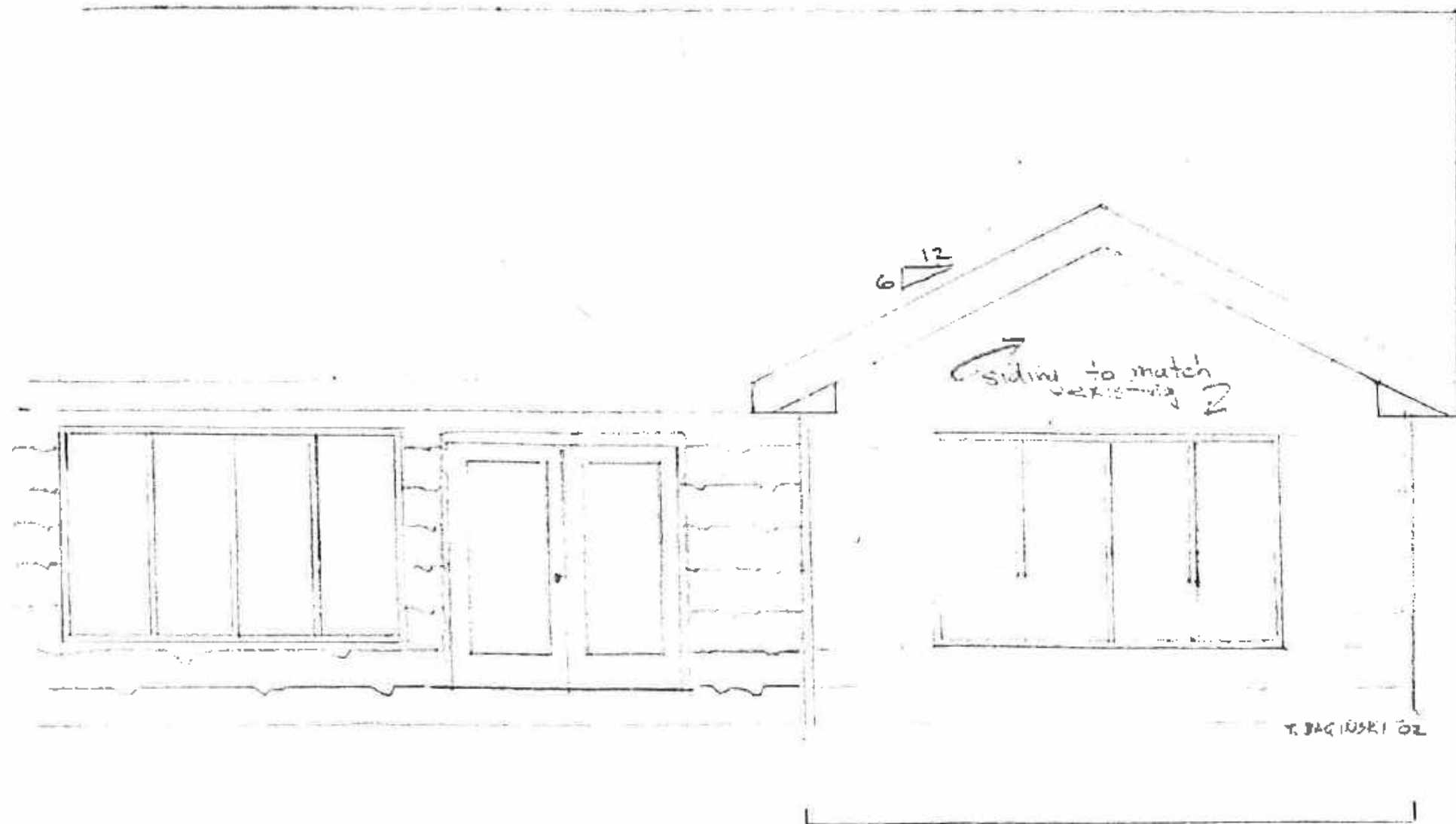
Drawn by Ted Baginski 02



T. BAGINSKI 02

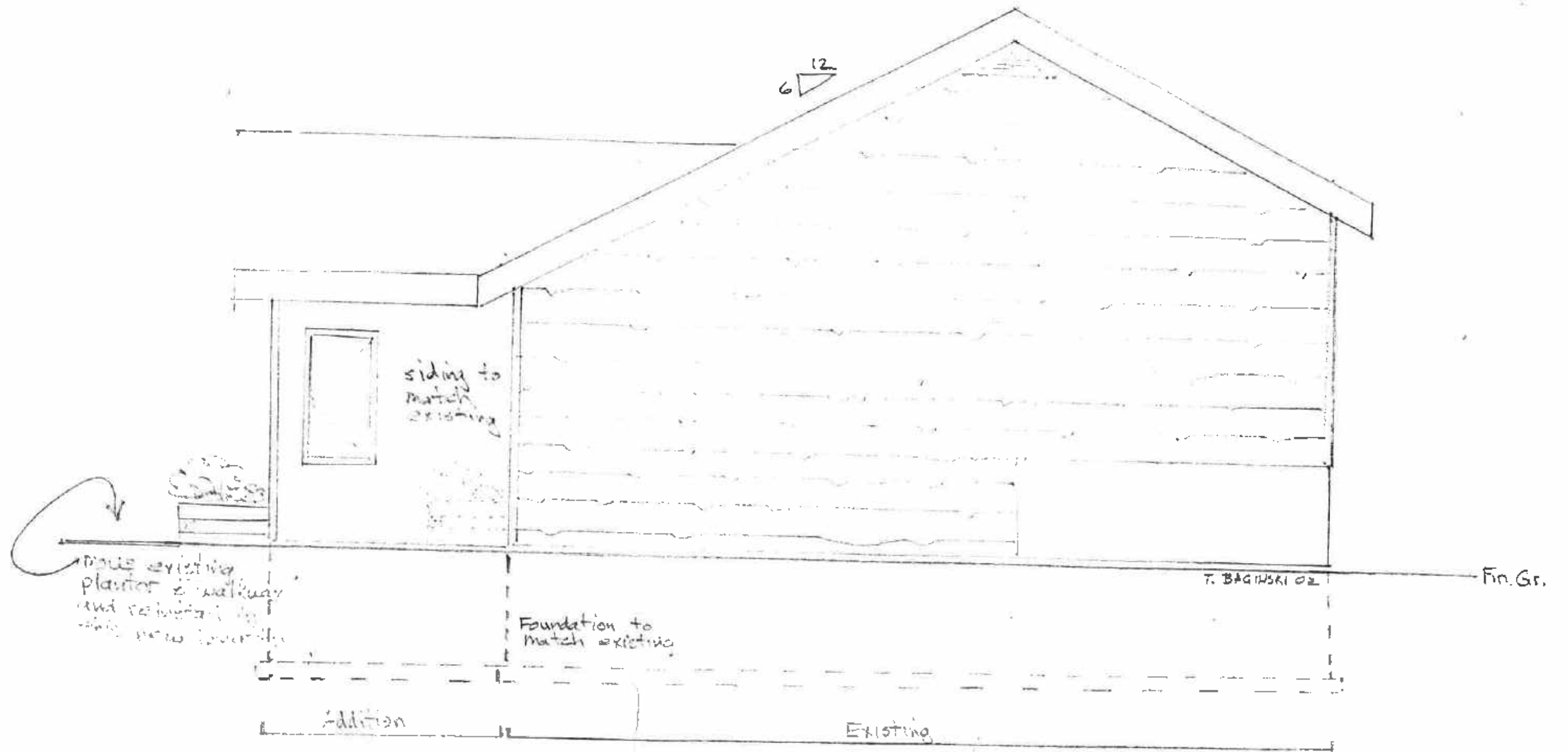
- Existing -  
North Elevation

1/4" = 1'-0"



NORTH ELEVATION  
1/4" = 1'-0"

PROPOSED  
ADDITION  
ELEVATION



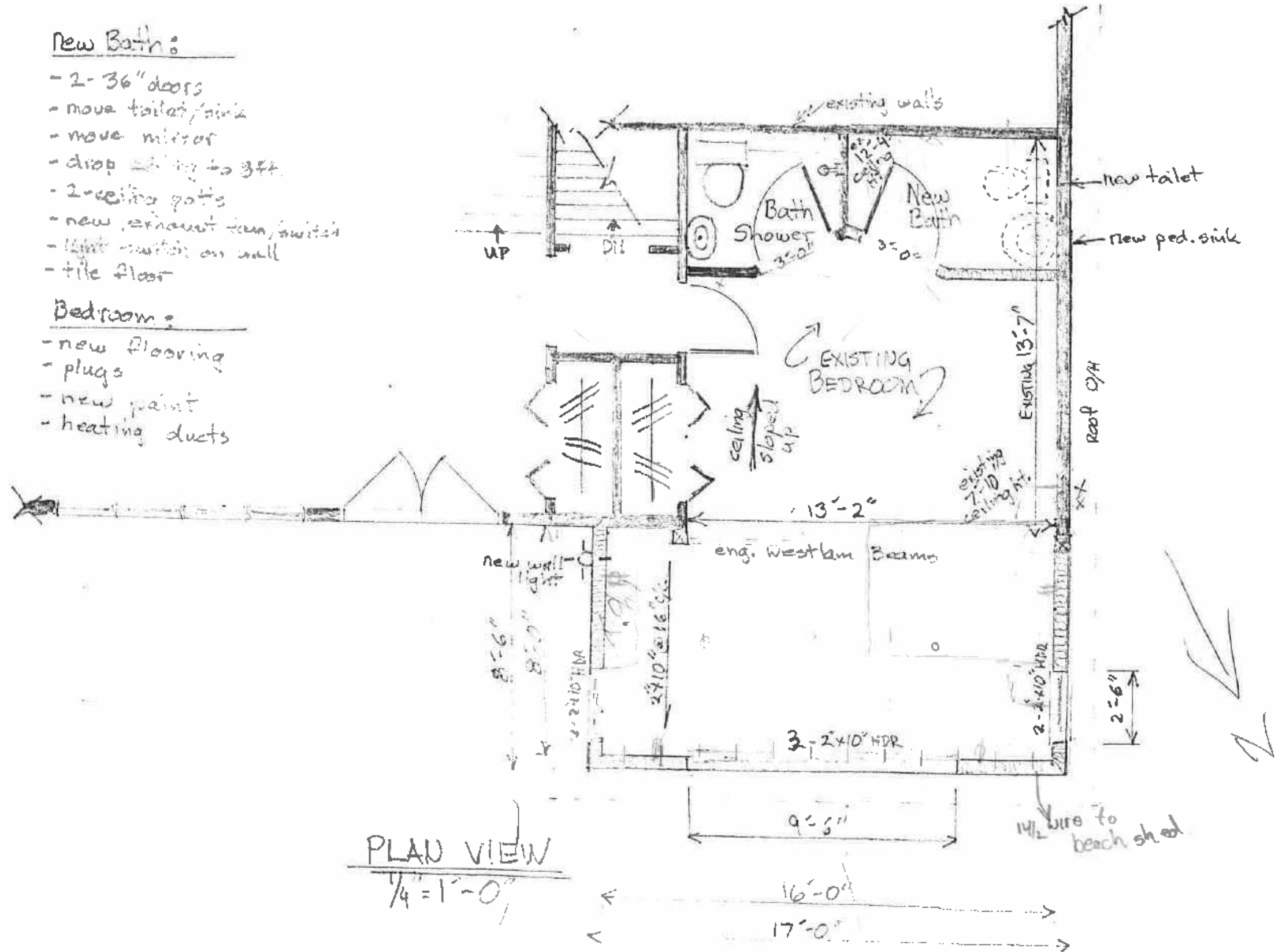
WEST ELEVATION  
1/4" = 1'-0"

New Bath:

- 2- 36" doors
- move toilet/sink
- move mirror
- drop ceiling to 3ft.
- 2 ceiling pots
- new exhaust fan/switch
- light switch on wall
- tile floor

Bedroom:

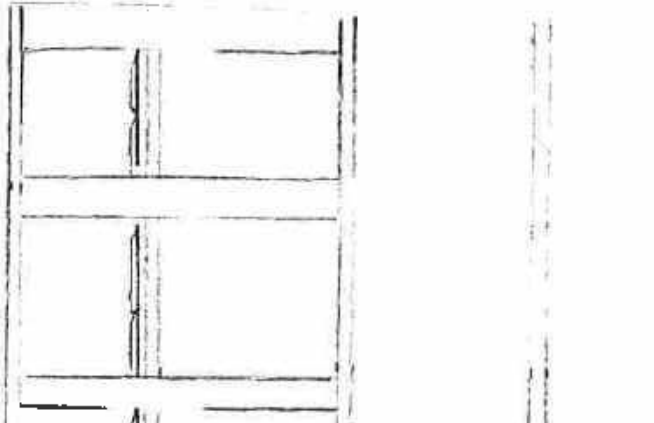
- new flooring
- plugs
- new paint
- heating ducts



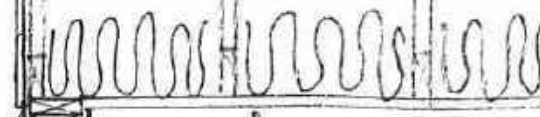
PLAN VIEW

1/4" = 1'-0"

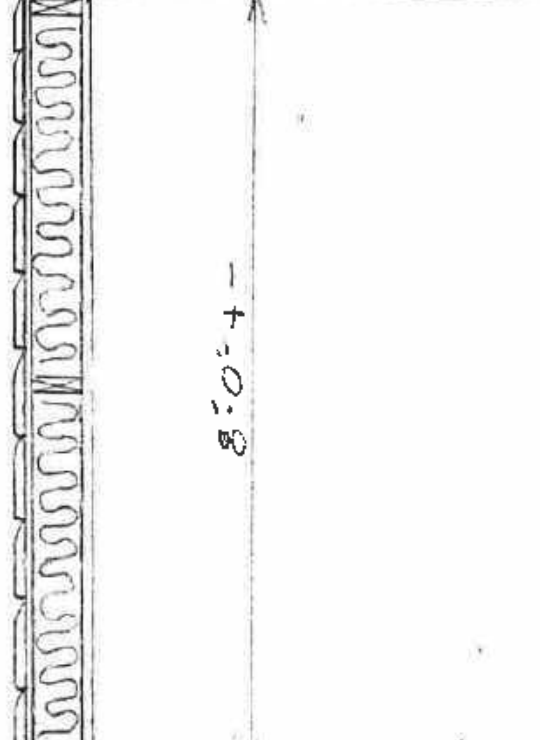




- shingles to match existing roof
- 1/2" plywood roof sheathing
- engineered trusses
- fascia to match existing
- wood siding to match
- soffit to match

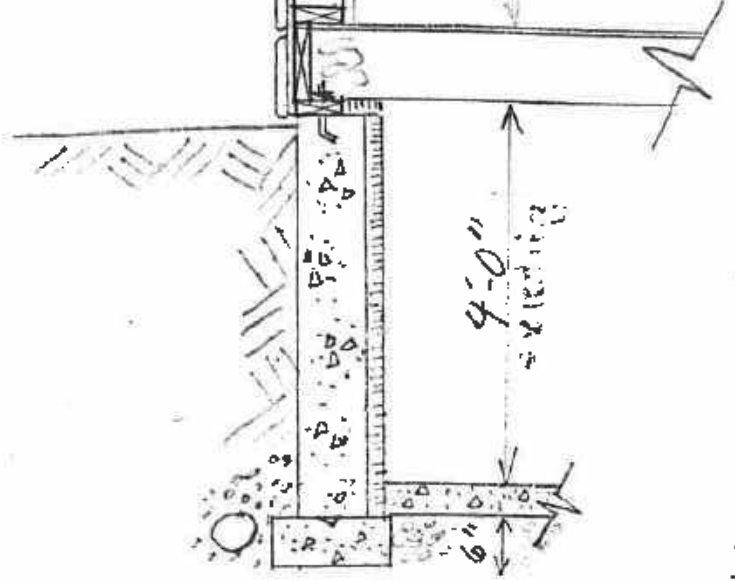


- R-31 ceiling insulation



- R-20 wall insulation
- 6 mil super poly vapor barrier
- 2x6 exterior studs
- 1/2" br/wall

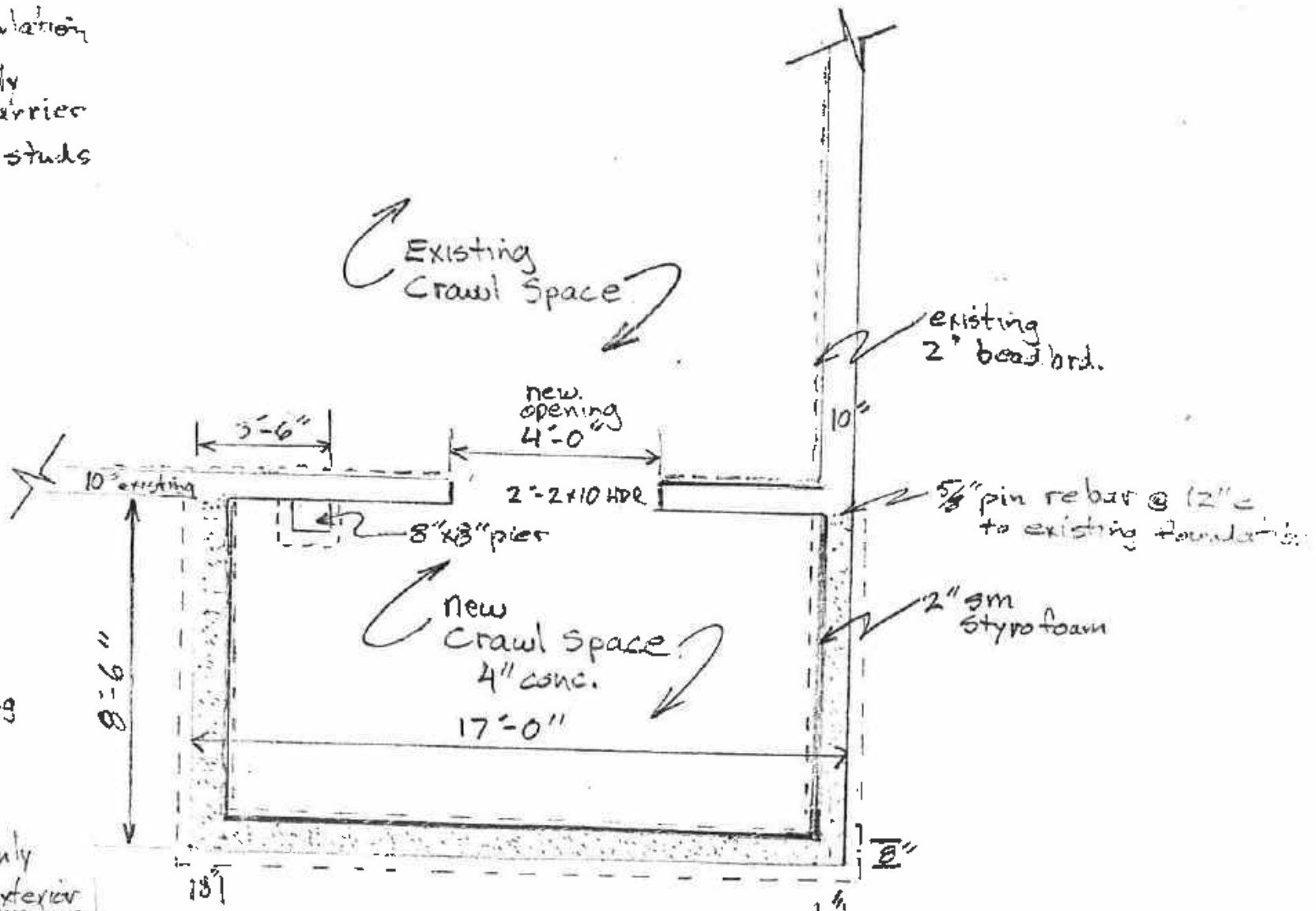
8'-0" +



- 5/8" plywood sub floor
- 2x10 floor joists one row bridging
- 2x6 sill plate
- sill plate gasket
- anchor bolt
- 2" SM interior only
- 3" conc. wall for exterior surface
- 4" conc. floor
- 3" conc. footing
- 6" washed stone
- weeper & stone to match existing

9'-0" existing

CROSS-SECTION  
1/2" = 1'-0"



FOUNDATION PLAN

1/4" = 1'-0" T. Baginski 02



This permit is issued under the authority and provisions of the following indicated Provincial Acts and their regulations, and is subject to the limitations and provisions thereof and is also subject to the terms and conditions herein.  
Ce permis est émis conformément aux dispositions des lois provinciales ci-après et des règlements y afférents et est sujet aux restrictions et dispositions de ce lois et règlements ainsi qu'aux conditions ci-énoncées.

- Lakes and Rivers Improvement Act/Loi sur l'aménagement des lacs et des rivières
- Section 13, Public Lands Act/Loi sur les terres publiques, article 13
- Section 2, Ontario Regulation 453/96, as amended, Public Lands Act/Loi sur les terres publiques, Règlement de l'Ontario 453/96 tel que modifié, article 2

Note : The issuance of this permit does not relieve the applicant from the responsibility of acquiring any other agency, board, government, etc. approval as may be required nor does it relieve the permittee from the requirements of any other legislation.

Remarque : La délivrance d'un permis n'exonère pas le demandeur de l'obligation d'obtenir l'autorisation de tout autre organisme, commission, gouvernement, etc. qui pourrait être exigée, non plus qu'elle exempte le détenteur des dispositions des lois.

The Permit is issued to : Ce Permis est délivré à :

Name of Permittee/Nom du détenteur :	
Post Office Address/Adresse postale : 730 Briar Hill Avenue, Toronto, ON M6B 1L3	139 Lake Drive, Thornbury, ON N0H 2P0

To conduct an operation from 1st day of July , 2011 to and including the 30th day of September , 2011 .  
Pour effectuer des travaux du jour de , 20 jusqu'au jour de , 20

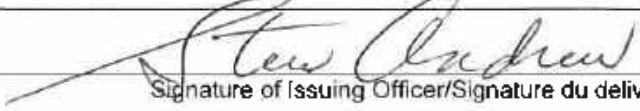
at location/à emplacement: fronting Lots 5-8, Plan 346, Town of the Blue Mountains (Collingwood)

as per your application dated/conformément à la demande de permis en date du : May 30, 2008 (Extension requested. February 8, 2011)  
for the purpose of./Aux fins de :

To dredge shorelands or cause shorelands to be dredged as shown on the approved photo sketch dated May 24, 2011.

Subject to the following conditions:/Et sous les conditions suivantes :

1. The Permittee shall keep this permit or a true copy thereof on the work permit area./  
Le détenteur conservera ce permis ou une copie conforme sur les lieux des travaux.
2. The person in charge of the operation conducted under this permit shall produce and show this permit or the true copy kept on the work permit area to any officer whenever requested by the officer./  
Le responsable des travaux couverts par ce permis doit produire le permis ou sa copie conforme si un agent lui demande.
3. Other conditions as listed on the reverse side of this permit as well as those contained in Schedule(s) D attached.  
Autres conditions énoncées au verso de ce permis ainsi que celles apparaissant aux annexes suivantes

Place of Issue/Émis à : Owen Sound	
Date/Date de délivrance : June 2, 2011	Signature of Issuing Officer/Signature du délivreur :

Personal Information on this form is collected under the authority of Section 13 of the Public Lands Act, R.S.O. 1990, the Lakes and Rivers Improvement Act, R.S.O. 1990, and Ontario Regulation 453/96 as amended, and Ontario Regulation 975 as amended, and the information will be used for the purposes of the Act and Regulations. Questions about this information should be directed to the local MNR office.  
Les renseignements personnels exigés dans les présentes sont recueillis en vertu de la Loi sur l'aménagement des lacs et des rivières et de l'Ontario 453 tel que modifié et du règlement 975 de l'Ontario tel que modifié. Ils seront utilisés selon les termes de la Loi et des règlements. Veuillez adresser toute question à ce sujet au bureau du MRN. Une liste des bureaux du MRN avec adresses et numéros de téléphone en français est disponible.

**SCHEDULE "D"**  
**WORK PERMIT TERMS & CONDITIONS**

**PERMITTEE:**

**LOCATION:**           **Bed of Lora Bay, fronting Lots 5-8**  
                          **Plan 346 Town of the Blue Mountains**

**PERMIT NO:**       **WP70808-08 - EXT**

1. The permittees and any person acting on their behalf shall undertake the work in accordance with this Work Permit which includes the Terms, Conditions, Notes and approved Application and Sketch contained in this permit.
2. The permittees are responsible for ensuring that the contractor and/or the equipment operator is familiar with the terms, conditions and notes in this permit before work commences and they are followed.
3. The permittees shall not allow Deleterious Substances, as defined in the Federal Fisheries Act, to be deposited or allowed to enter any waterbody or watercourse as a result of his or her activities.
4. If required changes to the plans must be applied for in writing. Implementation shall not occur until written approval is given by the Ministry of Natural Resources (MNR).
5. All dredged material must be disposed of by one of the following methods:
  - Hauled away in accordance with local municipal bylaws or
  - Deposited above the high water mark and stabilized to prevent re-entry into the water according to the local Conservation Authority Requirements within the boundaries of the permittees' properties.
6. Only to provide small craft access, large boulders may be sidecast into adjacent water of similar or greater depth. Boulders are not to be used to create groynes, reefs or other such structures in the water.
7. Existing groynes shall not to be widened, heightened or lengthened without written consent from this office.
8. Machinery used in the water shall have no oil or fuel leaks.
9. Refuelling, cleaning and servicing of any machinery being used is to be done away from the water to prevent deleterious substances from entering the water.
10. The permittees are responsible for the reporting of any spill of any material harmful to the environment (e.g.: fuel, oils, toxic fluids, etc.) immediately to the Ministry of the Environment Spills Action Center (1-800-268-6060). This service operates 24 hours a day 365 days a year (Part 9, Chapter 144, Environmental Protection Act. RES. 1990).



Ministry of  
Natural  
Resources

Ministère des  
Richesses  
naturelles

**Application for Work Permit  
Demande de permis d'exploitation**

**Part 1  
Partie 1**

Applicant (eg. landowner, licensee, permittee, etc.) (Cannot be a subcontractor)  
Demandeur (ex. : propriétaires fonciers, détenteurs de permis, etc.) (Ne doit pas être un sous-traitant)

Name/Nom	
Mailing Add	730

Site Contractor or Person in Charge/Entrepreneur ou responsable sur place			
Name/Nom	Business Phone/Tél. (Bureau)	Residence Phone/Tél. (Résidence)	Radio Contact Available/Radio <input type="checkbox"/> Yes/Oui <input type="checkbox"/> No/Non
Mailing Address/Adresse postale			Postal Code/Code postal

Type of Work Proposed - Please indicate and complete the appropriate additional part(s)  
Type de travaux prévus - Préciser et remplir la partie appropriée

Building Construction Construction de bâtiments  
 Work on Shorelands Travaux sur des terres  
 Work Within a Waterbody ravins submergés submergées  
 Roads or Trails or Water Crossing Routes ou piste ou traversée de cours d'eau

Location of Work Permit Area/Emplacement	
Township, Municipality, Base map No. or Lot and Concession, Location, Subdivision or Mining Claim or U.T.M. No. Canton, municipalité, carte de base n° ou parcelle, concession, emplacement, subdivision ou n° du MTU ou concession minère	
LOT 7 PLAN 346 TOWN OF THE BLUE MOUNTAINS, COUNTY OF BR	
Other l.a. Waterbody (describe) Autre p. ex. cours d'eau (décrire)	LORA BAY
Camp Location Emplacement du camp	No. of Workers on Site Nbre de travailleurs sur le site

Private Land/Terres privées	
Private Lands of - Applicant/Appartenant au demandeur	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Other (specify) Oui Non À d'autres (préciser quel) GEORGIN BAY (LORA BAY)	

Effective Date(s)/Dates	
Start Date/Date de début des travaux	Finish Date/Date de fin des travaux
JULY 1, 2008	PROPOSED JULY 31, 2008

Equipment to be Used/matériel qui sera utilisé	
Please specify/Préciser H: HOE OR BARGE	

**Note:**  
The issuance of this permit does not relieve the applicant from the responsibility of acquiring any other agency, board, government, or other approvals as may be required.

**Remarque:**  
La délivrance de ce permis n'exonère pas le détenteur d'obtenir les autorisations qui pourraient être exigées par d'autres gouvernements, organismes, commissions, etc.

If an applicant requires a copy of this application, he/she should retain copy prior to submitting.

Si le demandeur en a besoin, il doit conserver un exemplaire de cette demande avant de la soumettre.

Personal information on this form is collected under the authority of Section 13 of the Public Lands Act, R.S.O. 1990 and Ontario Regulation 483/98 as amended and Ontario Regulation 975 as amended, and the information will be used for the purposes of the Act and Regulations. Questions about this information should be directed to the local MNR office. MNR office addresses and phone numbers are listed on the reverse of this form.

Les renseignements personnels exigés dans les présentes sont recueillis en vertu de l'article 13 de la Loi sur les terres publiques, S.R.O. 1990 et du règlement de l'Ontario 483/98 tel que modifié et du règlement 975 de l'Ontario tel que modifié. Ils seront utilisés selon les termes de la Loi et des règlements. Veuillez adresser toute question à ce sujet au bureau local du MNR. Une liste des bureaux du MNR avec adresses et numéros de téléphone se trouve au verso.

I/we hereby agree to rely solely upon the terms and conditions of the written work permit issued pursuant to this application. Any changes, amendments to the written work permit must be approved in writing by MNR.

J'accepte de me conformer strictement aux conditions écrites du permis d'exploitation émis pour la présente demande. Tout changement ou toute modification au dit permis d'exploitation doit être approuvé par écrit par le MNR.

I certify the information given in this application is true.

Je certifie que les renseignements donnés ici sont véridiques.

Signature of Applicant/Signé par	Position/Paste	Date
<i>[Signature]</i>	LANDOWNER	JUN 21/08
Signature/Signature	Position/Paste	Date
<i>[Signature]</i>	May 24/2008	
Date Application Received in Office Date de réception de la demande	139 LAKE DR. TIPKINSBURY, N0H 2P0	
May 30/08		



Ministry of  
Natural  
Resources  
Ontario

Ministère des  
Richesses  
naturelles

# Application to Do Work on Shorelands Demande de permis de travaux sur des rives

Part 3  
Partie 3

- I Complete applicable sections.
  - II Include proof of ownership (e.g. copy of deed and, if available, a copy of survey plan) or indicate property lines.
  - III Include sketches/drawings/survey plans as indicated on the reverse of this form.
- Note: Application will not be processed unless the statements have been completed and attached to the application.
- IV Applications may be required to include evidence that notice of the proposed work has been provided to at least the two immediately adjacent neighbours and that they have been provided reasonable opportunity to comment on the proposed work.
  - V Include municipality's comments of the project, where applicable, (i.e. for dredging or constructing improvements).

- I Remplir les parties appropriées.
  - II Joindre une preuve de propriété (le cas échéant, copie d'acte de vente, de plan cadastral) ou indiquer les limites de propriété.
  - III Joindre, des croquis, dessins, plans comme l'indique le verso de cette formule.
- Remarque: Les demandes reçues sans ces documents ne seront pas acceptées.
- IV On peut exiger une preuve qu'au moins les deux voisins immédiats ont été avisés des travaux et qu'ils ont eu une possibilité raisonnable de faire des commentaires sur ces travaux.
  - V Joindre les commentaires de la municipalité, le cas échéant (p. ex. pour le dragage ou la construction d'améliorations).

## 1) Filling/Remblais

a) Purpose/But			
b) Dimensions of Area to be Filled: Dimensions de la surface à remblayer	Length/Longueur	Width/Largeur	Depth of Water/Profondeur de l'eau
c) Type of Material to be Used (Please check) Type de matériaux qui seront utilisés			
<input type="checkbox"/> Sand / <input type="checkbox"/> Earth / <input type="checkbox"/> Gravel / <input type="checkbox"/> Armour Stone / <input type="checkbox"/> Rock Rubble / <input type="checkbox"/> Other (specify) <input type="checkbox"/> Sable / <input type="checkbox"/> Terre / <input type="checkbox"/> Gravier / <input type="checkbox"/> Pierre / <input type="checkbox"/> Morceaux de roche / <input type="checkbox"/> Autres (préciser)			
d) Manner of Preventing Erosion or Siltation/Méthode pour prévenir l'érosion ou l'envasement			

## 2) Dredging/Dragage

a) Purpose/But: TO RE-DREDGE AN EXISTING CHANNEL TO ALLOW FOR BOAT NAVIGATION			
b) Area to be Dredged Surface à draguer	Length/Longueur 200-300 FT.	Width/Largeur 30 FT.	Average Water Depth/Profondeur moyenne de l'eau 2 FT.
c) Type of Material (Check box and indicate approx. %)/Types de matériaux (encercler et donner le % approx.)			
<input checked="" type="checkbox"/> Sand 20% / <input type="checkbox"/> Marsh / <input checked="" type="checkbox"/> Silt 40% / <input type="checkbox"/> Gravel / <input type="checkbox"/> Clay 20% / <input checked="" type="checkbox"/> Rock 20% <input checked="" type="checkbox"/> Sable / <input type="checkbox"/> Marais / <input type="checkbox"/> Vase / <input type="checkbox"/> Gravier / <input type="checkbox"/> Argile / <input checked="" type="checkbox"/> Roche			
d) Indicate Disposal Location of Dredged Material/Préciser où le matériau enlevé sera déposé ALL DREDGED MATERIAL WILL BE TRUCKED AWAY			
e) Proposed Method of Erosion/Protection (i.e. straw bales, silt curtain, etc.)/Méthode prévue pour prévenir l'envasement ou l'érosion (p. ex. bales de paille, rideau de vase, etc.) SILT CURTAIN IF NECESSARY AT MOUTH OF CHANNEL CALM DAY W/ON-SHORE WAVE PERIOD			

## 3) Boat Launch/Ramp/Rampe/Lancement de bateaux

a) Dimensions	b) Material to be Used/Matériaux qui seront utilisés
---------------	--

## 4) Construction of Dock, Boathouse, Breakwall/Construction d'appontements, abris à bateau, brise-lames

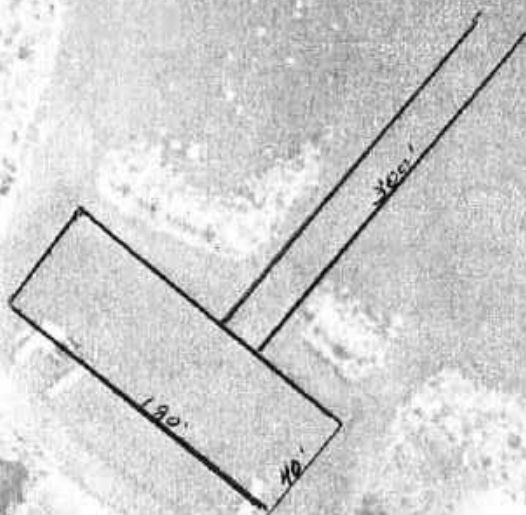
a) Purpose/But			
b) Dimensions	Length/Longueur	Width/Largeur	Height/Hauteur
c) Materials Used in Construction (if material has a preservative, also indicate what type)/Matériaux qui seront utilisés (si ces matériaux sont traités avec un préservatif, préciser lequel)			
d) Construction Details (i.e. type of support - concrete, wooden crib)/Détails de la construction (p. ex. type de support - charpente en bois, en béton)			

## 5) Other Works/Autres travaux (Please Specify/préciser)

SHOREWELL WATER LINE TO BE EXTENDED OUT INTO BAY AT A GREATER DEPTH OF WATER.
---



May 24/11



# 139 Lake Drive  
Thornbury, ONT

Tuesday, November 08, 2011

Dear Mr. & Mrs. :

It was a pleasure meeting with you recently. I would like to thank you for your interest in Four Seasons Sunrooms and for allowing me the opportunity to demonstrate why thousands of satisfied homeowners have chosen Four Seasons for their remodeling needs.

As discussed, attached is the proposal you requested for a Four Seasons Sunroom addition to your home. In addition to the specifics shown here, it will be my pleasure to see to all the necessary building permits and attend to all the other details required ensuring the seamless and timely integration of a Four Seasons Sunroom with your home.

As you now know, Four Seasons Sunrooms outperform all other sunrooms on the market. Four Seasons is the largest manufacturer of sunrooms in the world, and our over 35 years of experience gives us the knowledge and expertise to engineer and produce the finest sunrooms available. Because we design and manufacture all our sunrooms from the ground up, we have complete control over the quality and performance of every component that will be used in your addition.

Of course, since glass represents over 90 percent of a sunroom, it is the single most important element of your addition. Only Four Seasons Sunrooms can offer multi-coat, MC-7E and MC-16 **CONSERVAGLASS SELECT™**. This proprietary glass has been designed for your total comfort and safety. Remember, to keep you cool and comfortable in summer, MC-16 **CONSERVAGLASS SELECT™** has a Relative Heat Gain Index of only 40, while regular Low-E glass has a Relative Heat Gain Index of up to 170! A sunroom glazed with regular Low-E glass would be painfully hot during the summer months. To keep you warm and comfortable in winter, MC-16 **CONSERVAGLASS SELECT™** has a Center of Glass R-value of 4.0, while regular Low-E glass only approaches 2.6 – that's a lot of heat out the window! In addition, to ensure your safety, Four Seasons uses only fully tempered safety glass that is four to six times stronger than ordinary glass and, if you could break it, would shatter into harmless rounded pellets, not sharp shards.

Once again, I thank you for the opportunity to demonstrate Four Seasons Sunrooms superior qualities in aesthetics and performance and look forward to servicing your sunroom needs in the future. If you have any questions, please do not hesitate to call me at **519-374-1457**.

Respectfully,  
Travis Low

Design Consultant  
**Vandolders Home Team**  
Travis Low



**BUILD the BEST**  
**FOUR SEASONS**  
**SUN ROOMS**  
 Independently Owned & Operated

# Agreement

Contract No. \_\_\_\_\_

THIS AGREEMENT made on Tuesday, November 08, 2011 between \_\_\_\_\_

Res: \_\_\_\_\_  
 Pas. \_\_\_\_\_ Cell: \_\_\_\_\_  
 of # 139 Lake Drive Thornbury ONT  
 (Street) (City) (State/Prov) (Zip/Postal)

hereinafter called the "Owner" and Yandolites Home Team (an independently owned and operated business licensed to sell Four Seasons Product Line hereinafter called the "Products") located at 1624 28th Avenue EAST, Owen Sound, ON, N4K 0A8, 519-376-1624 hereinafter called the "Contractor".

**WITNESSETH:**

The Contractor hereby agrees that it will, for consideration hereinafter mentioned, furnish the following described Products and all labor necessary to install the Products and such Additional Work as listed below at premises located at: (hereinafter called the "Premises")

We hereby submit specifications for the following Products:

<b>8 Classic</b>	<b>8SL1431</b>	<b>5 - 4'</b>	<b>22' 3 1/2"</b>	<b>12' 4"</b>	<b>10'</b>
System	Model No.	No. Bays	Length	Projection	Height

**ACCESSORIES:**

Left Side:	Roof	Glasing:	Colors:
Right Side:	Front & Sides:	<u>CONSERVAGLASS SELECT™ 16</u>	Frame: <u>Bronze</u>
Curves:	Curves:	Code <u>78</u>	Beams: <u>Pine</u>

**WINDOWS & DOORS**

Qty	Front	Qty	Left	Qty	Right
	<u>as per plans</u>		<u>as per plans</u>		

Heating/Cooling: \_\_\_\_\_

Exhaust Fan: \_\_\_\_\_

**ADDITIONAL WORK: As Per Scope of Work EXCLUSIONS: As Per Scope of Work**

**Payment Schedule**

25% Deposit	\$22,447
50% Delivery & Start	\$56,119
25% Completion of Framing	\$22,447
10% Completion	\$11,224

<b>* 1000.00 Deposit Nov. 9<sup>th</sup></b>	<b>Agreement Amount</b>
	Total \$111,661
	Deductions (\$12,340)
	Subtotal \$99,325
	Harmonised Sales Tax 12912
	<b>Net TOTAL \$112,237</b>

The Contractor is licensed under the License No. 870937414RT0001 as a general contractor where the Premises are located and warrants all labor hereunder for 1 year from the date of substantial completion of installation. The Owner is responsible for all permits required for the work hereunder and acknowledges that no materials will be ordered or work commenced until such permits are delivered to the Contractor.

**The Owner acknowledges and agrees that the Contractor is an Independently Owned and Operated entity licensed to sell the Four Seasons Product Line and is not an agent or affiliate of Four Seasons Solar Products LLC. The Owner expressly waives any claim against Four Seasons Solar Products LLC, or its affiliates except as may be expressly set forth in written warranties accompanying the products.**

Except for the written warranty on labor set forth above, Contractor makes no other warranty and specifically excludes all warranties express or implied, including but not limited to any implied warranty of merchantability or fitness.

The Owner acknowledges that it has read and understood the conditions on the back of this agreement, all of which are herein incorporated by reference.

This agreement shall be governed and construed in accordance with the laws of the state of Ontario. The owner may cancel this agreement at any time within three (3) business days following receipt by the Owner of a duplicate original copy of this agreement. This agreement will only become effective when signed by an authorized office of the Contractor. This agreement will only become effective when signed by an authorized office of the Contractor. The Owner hereby acknowledges receipt of a duplicate original copy of this agreement.

Design Consultant: \_\_\_\_\_ Travis Low (Owner)  
 Authorized Approval: \_\_\_\_\_ General Manager (Co-Owner)  
 (Contractor) (Title) \_\_\_\_\_ Date



## Terms & Conditions

**Scope of the Project** - The Project shall be as described in this agreement and any Scope of Work attached hereto. All aspects of the Project shall comply with the requirements of the Ontario Building Code and the relevant zoning and building regulations and by-laws in force in the jurisdiction in which the Project is to be completed. The Contractor shall leave the Premises in a clean condition upon completion of the Project. The Contractor represents that its employees and subcontractors are insured by the Workplace Safety & Insurance Board and carry public liability insurance. The Contractor shall, at the request of the Owner, provide evidence of insurance to the Owner prior to commencing the Project. The Contractor hereby agrees to be liable for any damage to the City or municipality caused by it during the course of construction.

**Changes in Project** - The Owner shall pay the cost of any changes to the Project required to be undertaken by order of the local Building Department or any other regulatory authority. No change in the Project, whether at the request of the Owner or as required by the local Building Department, shall be made without a written agreement executed by the Owner and the Contractor in the form of a Change Order setting out the nature and price of the change in the Project and the resultant credit to the Owner or the Contractor as the case may be. If the effect of the Change Order is to increase the Project Price, the increase in cost shall be paid by the Owner to the Contractor in full forthwith upon execution of the Change Order.

**Unknown Conditions of the Premises** - Should the Contractor, after entering into this agreement, encounter unusual soil conditions or obstructions above or below grade on the Property, or if the Contractor determines that the Owner failed to disclose any fact material to the Contractor's completion of the Project, the Owner shall be liable to the Contractor for all additional costs to complete the Project. The Owner shall promptly execute a Change Order as prepared by the Contractor and make payment in full of the entire additional cost to the Contractor, failing which this agreement shall be terminated at the option of the Contractor by notice in writing to the Owner and the Owner shall be liable to the Contractor for all damages flowing from the termination of this agreement.

**Permits & Time for Completion** - Unless otherwise provided herein, the Owner is responsible for obtaining all building and other permits required for the completion of the Project. No aspect of the Project shall be undertaken by the Contractor unless and until the Owner delivers the permits to the Contractor. The Contractor shall thereafter commence the Project within a reasonable time and will proceed with the diligent completion of the Project in a good and workmanlike manner and in accordance with the Scope of Work attached to it in any schedule hereto.

**Uncontrollable Delays** - The Contractor is not responsible for delay and damages caused by strikes, acts of God, war, riots, shortages, weather conditions, public authorities or other causes or casualties beyond its reasonable control, or as a direct result of the Owner's inaction.

**Warranty - Products** - The Products purchased by the Owner are subject to a warranty provided by the manufacturer, Four Seasons Solar Products Corp. The Owner shall be furnished with the warranty provisions upon completion of the Project and payment in full of the Project Price. The Contractor provides no warranty of the Products to the Owner. Failure to make payment of the Project Price, including all Change Orders, if applicable, in accordance with the payment schedule herein, voids the warranty provisions granted by Four Seasons Solar Products Corp.

**Warranty - Labour** - The Contractor expressly warrants all other aspects of the Project other than the Products for a period of five (5) years from the date the Project is substantially completed (the "Warranty Period"). The Contractor warrants that it shall rectify any defect in the Project, other than the Products, provided that the Owner submits written notice to the Contractor of such defect within the Warranty Period. The Owner hereby acknowledges that Four Seasons Solar Products Corp. in no manner whatsoever warrants anything other than the Products. The warranty provided by the Contractor excludes reasonable wear and tear. Condensation, frost or freezing on any glass Products are specifically excluded from the warranty provided by the Contractor. Condensation on the product may occur as the natural result of humidity inside or outside the Premises and changes in the interior/exterior temperatures, and does not indicate a defect in the Products. Proper ventilation, as well as heating and/or cooling must be maintained by the Owner to avoid such conditions. Failure to make payment of the Contract Price and Change Orders, if applicable, in accordance with the payment schedule herein, voids the warranty provisions granted by the Contractor. For the purpose of this agreement, substantial completion shall mean that all Work has been substantially completed as defined by the Ontario Water Law Act.

**Owner's Warranty** - The Owner warrants that he/she is the owner of the Premises on which the Project is to be completed, or alternatively, the Owner hereby represents and warrants that he/she is authorized on behalf of the actual owner of the Premises, as agent for the actual owner, to enter into this contract on the behalf of the owner of the Premises. The Owner authorizes the Contractor to enter upon the said Premises and the Owner agrees to obtain, if necessary, consent to enter upon all adjoining neighbours' premises, in order to enable the Contractor to do and complete the Project. The Owner represents that the actual owner of the Premises is \_\_\_\_\_.

**Assignment** - The Contractor shall have the right to sell, assign and transfer this agreement and other instruments executed by the Owner. This agreement shall ensure to and be binding upon the parties hereto and their respective heirs, successors and assigns.

**Liability for Damages** - The Owner acknowledges and agrees that any breach of this agreement by the Owner, including any refusal by the Owner to permit the Contractor to proceed with the Project, may give rise to damages, including loss of profit by the Contractor, for which the Owner may be found liable.

**Right to Cancel** - If this agreement has been executed at the Owner's Premises, the Owner may cancel this agreement within 10 business days following receipt by the Owner of a duplicate copy of this agreement (the "Waiting Period"), by forwarding written notice of cancellation to the Contractor by facsimile transmission. If the Owner elects to have the Contractor commence the Project prior to the expiration of the Waiting Period, the Owner shall place his/her initials in the box provided on the front side of this page. By instructing and authorizing the Contractor to commence the Project prior to the expiration of the Waiting Period, the Owner acknowledges that, in the event that he/she delivers notice of cancellation during the Waiting Period, any direct costs incurred by the Contractor prior thereto, including an administrative charge of 5% of the Contract Price to a maximum of \$750.00, shall be borne by the Owner. Where the Owner delivers notice of cancellation after the Waiting Period and prior to the commencement of construction by the Contractor, any direct costs incurred by the Contractor prior thereto, including an administrative charge of 15% of the Contract Price to a maximum of \$2,000.00, shall be borne by the Owner. In any case of cancellation, the Contractor shall be entitled to deduct such costs from the deposit delivered upon execution of this agreement. In the event that the Project is at any time frustrated by issues arising during the building permit process, any direct costs incurred by the Contractor prior thereto, including an administrative charge of 5% of the Contract Price to a maximum of \$500.00, shall be borne by the Owner. The balance of the deposit shall be refunded to the Owner. There shall be no right of the Owner to cancel the contract after the Contractor has commenced construction.

**Photographs and Signage** - The Owner authorizes the Contractor to take photographs of the Premises, before, during and after the Project is undertaken and to advertise or publish said photographs in the Contractor's advertising materials from time to time at its own discretion, subject to a restriction on the Contractor from releasing the address of the Premises to any party or in the contents of such advertising material without the prior written consent of the Owner. The Contractor has the right to erect a sign on the Premises during construction.

**Entire Agreement** - This agreement represents the entire agreement between the Owner and the Contractor and in particular, no representation or warranty shall be binding upon either party, unless included herein. Schedules hereto form part of this agreement.

**Jurisdiction and Governing Law** - This agreement shall be governed and construed in accordance with the domestic laws of the Province of Ontario and the laws of Canada applicable therein. Any notice to the Contractor shall be delivered in writing to the Contractor at 1624 28th Avenue East, Owen Sound, Ont. Notice to the Owner shall be in writing and delivered to the Premises.

# Scope of Work

Tuesday, November 08, 2011

Prepared  
for:

Mr. & Mrs. ....  
# 139 Lake Drive  
Thornbury, ONT

Res:  
Bus:  
Fax:  
Cel:  
E Mail:

## ***Project:***

To supply and install a Four Seasons sunroom addition on an existing building.  
Prepare working drawings for addition. Submit to the Building Department a completed Application for Building Permit together with the working drawings and the required fee and obtain the Building Permit.  
Sunroom to meet Local Building Code.

Product displays, models, pictures and specifications may not depict actual product. Rooms are subject to variations pursuant to local building codes.

## ***Credentials & Warranties:***

We are ***Sunroom Specialists*** and only supply and build sunroom additions  
We have been in business ***Continuously*** for over 30 years  
Network of over 300 locations in 25 countries  
More than 250,000 sunrooms built  
Over 100 Million square feet of glass installed

***Licensed***  
***Liability Insurance Coverage***  
***Full Workers' Compensation Coverage***  
***Member of the Better Business Bureau***

***Lifetime Limited Glass Seal Failure Transferable Warranty***  
***Lifetime Limited Glass Breakage Transferable Warranty***  
***100% Coverage for 20 Years***  
***10 Year Limited Product Warranty***

***5 Year Workmanship Warranty***  
***Non-Four Seasons Products are as per Manufacturers Warranties***

**Sunroom  
Specifications:****Model 8SLT431****System 8 Classic Adjustable Pitch Wood Solarium**

5 - 4' Bays

roof beams to be laminated Pine, stained with finish coat for beauty and strength

interior and exterior aluminum glazing system for beauty and a maintenance free exterior

glazing system to have integral double drainage to channel any moisture outside

all aluminum to be fully thermally broken to prevent cold transfer

only marine grade Stainless Steel Fasteners to prevent rust and staining

all glass sandwiched between EPDM gaskets to allow expansion &amp; contraction

aluminum to be finished with **Bronze** Baked-on Enamel for a maintenance free finish

gable ends to be conventional construction

all casement windows complete with interior screens

Front Wall: 4 4'x5' FO-casement windows

Left Side: 3 fixed trapezoid windows

Right Side: 3- 4'x5' FO-casements windows

approx. 4' back wall extension to have "Hurd" aluminum/wood clad entry door complete with hardware.

All window trims finished

**Approximate  
Sunroom Size:**

22' 3 1/2" long 12'-4" projection 10' high

**Roof  
Glazing:****CONSERVAGLASS SELECT™ (MC-16)****Exclusive High Performance Glazing**

Multi-coat glazing technology (Code 78)

Easy-Clean II Exterior Coating + Stay-Clean Technology

Argon Gas filled for better insulation

90% reduction in Total Solar Transmittance

High Visible Transmittance

R4.0 / U0.25 center of glass insulation value

Stainless steel continuous bent spacers

Dual poly-isobutylene and silicone seals

Fully tempered insulated safety glass

Protective Glass Masking

**Vertical  
Glazing:****Ostaco- Corewood Pine****Exclusive High Performance Glazing**

Multi-coat glazing technology  
 Easy-Clean II Exterior Coating + Stay-Clean Technology  
 Argon Gas filled for better insulation  
 75% reduction in Total Solar Transmittance  
 High Visible Transmittance  
 R4.0 / U0.25 center of glass insulation value  
 Stainless steel continuous bent spacers  
 Dual poly-isobutylene and silicone seals  
 Protective Glass Masking

**Foundation:**

Removal and cleanup of 2 existing trees  
 Excavate to minimum 4' Step to meet existing footing  
 Pour footings 8" x 16"  
 Build 8" block wall to 6" above grade  
 Parge and waterproof  
 2" rigid insulation on interior of foundation wall and floor joist boxes  
 concrete floor in crawlspace with trowel smooth finish  
 Back fill and clean up of site with rough finish grade  
 CAUTION working around existing blue spruce tree

*- cut into deck + reestablish footing + finish as required  
 - move large rocks aside for placement later*

**Floors:**

Floor joists to be 2 x 10 on 16" centers with cross bridging, metal joist hangers on ledger board bolted to house  
 5/8" plywood sub floor screwed down

**Base Walls /  
Walls:**

Wall studs to be 2x6 on 16" centers  
 R20 insulation batts with 6 mil vapour barrier  
 1/2" drywall taped sanded primed white ready for paint  
 1/2" plywood exterior sheathing with Tyvek building paper  
 Cultured Stone exterior over framed wall, including fireplace exterior  
 Wall ties as required  
 Tool joints one side  
 Stone sills under Sunroom  
 [Note: cannot guarantee exact match]  
 Drywall Back wall to consist of  
 Supply and install 1/2" drywall taped  
 Sanded, primed and 2 finish coats

**Roofs:**

Remove existing overhang  
3' of Ice Shield to be laid  
Removal of 3' of shingles  
Replace 3' with new shingles  
Applies to single layer on existing roof in good condition

**Electrical/  
Heat/Cool:**

Total electrical points to consist of  
10 Duplex outlets or Single pole switch or fixture outlet  
2 Exterior GFI duplex outlet inside waterproof box  
Electrical Heat/Cool hook up of 2-5" round ducts with registers  
External or Internal Home run to panel  
Includes circuit breaker  
Assumption: panel has sufficient capacity

*q.l.*  
- 2 in fireplaces 1 in TV advice  
- install track light. 1 for FP.  
customer supplied - cook to TV +  
cold air return WEAT WALL  
(if necessary)

**Accessories:**

Install pre-finished tongue and groove pine flooring to match existing as close as possible  
Supply and install a pair of interior French Doors  
clear pine with wood mullions and glass  
Including all hardware  
Wood unit stained with finish coat for beauty and strength

**Miscellaneous:**

gas fireplace allowance of \$ 5500.00 included includes cultured stone face

**Also Includes:**

Architectural Drawings & Building Permit are included.  
 All aspects of installation, flashing & caulking.  
 Engineering by Four Seasons Sunrooms.  
 Repair any damage done to existing building caused by Four Seasons Sunrooms or it's contractors.  
 Leave area broom clean at the end of each work day.  
 Remove all construction debris from site at the completion of project.

**Financing:**

with a 20% Initial Investment of	\$22,447
<b>10 Year Loan / Monthly Payments</b>	<b>\$1,089</b>
<b>20 Year Loan / Monthly Payments</b>	<b>\$751</b>

Financing prices include all taxes

**Totals:**

<b>Gross List</b>	<b>\$126,181</b>
<b>Sale Savings</b>	<b>(\$13,944)</b>

<b>Net Total Until Friday, November 25, 2011</b>	<b>\$112,237</b>
<b>Net Total After Friday, November 25, 2011</b>	<b>\$126,181</b>

All Taxes are Included

Price valid until Friday, November 25, 2011

**Project Notes:**

# Options

*Project Notes:* |

**Exclusions:**

Except as specified above, the following items are not included in this quotation:

- Any additional permits or fees such as listed below, except as noted above
  - Committee of Adjustments
  - Site Plan Control
  - Conservation Authority Approval
  - Curb Deposit
  - Plumbing Permit
- Any items listed in Options, marked By Others or not listed above
- All final painting and decorating
- Heating, Cooling & Electrical, except as noted above
- Floor covering
- Landscaping
- Decks, skirt to grade and /or stairs, except as noted above

Any additions to the above will be charged at current Four Seasons prices. No additional work is to commence without a signed Change Order form.

**Target  
Schedule:**

Our crew will stay on your project until it is complete unless there are uncontrollable delays.

- 3-4 weeks to produce architectural drawings
- 4-8 weeks to obtain a building permit
- 4-6 weeks for delivery of product
- 0-2 weeks to schedule a crew
- 2-4 weeks on site construction

Exceptions: Uncontrollable delays and weather permitting.

**Payment  
Terms:**

\$22,447	30%	Deposit
\$56,119	50%	Delivery & Start
\$22,447	20%	Completion of Framing
\$11,224	10%	Completion

All Taxes are Included in the Payment Terms

The Owner acknowledges and agrees that the Contractor is an Independently Owned and Operated entity licensed to sell the Four Seasons Product Line and is not an agent or affiliate of Four Seasons Solar Products LLC. The Owner expressly waives any claim against Four Seasons Solar Products LLC, or its affiliates except as may be expressly set forth in written warranties accompanying the products.

Owner \_\_\_\_\_

Date Nov. 9 2011.

Consultant \_\_\_\_\_

T. Low  
Travis Low



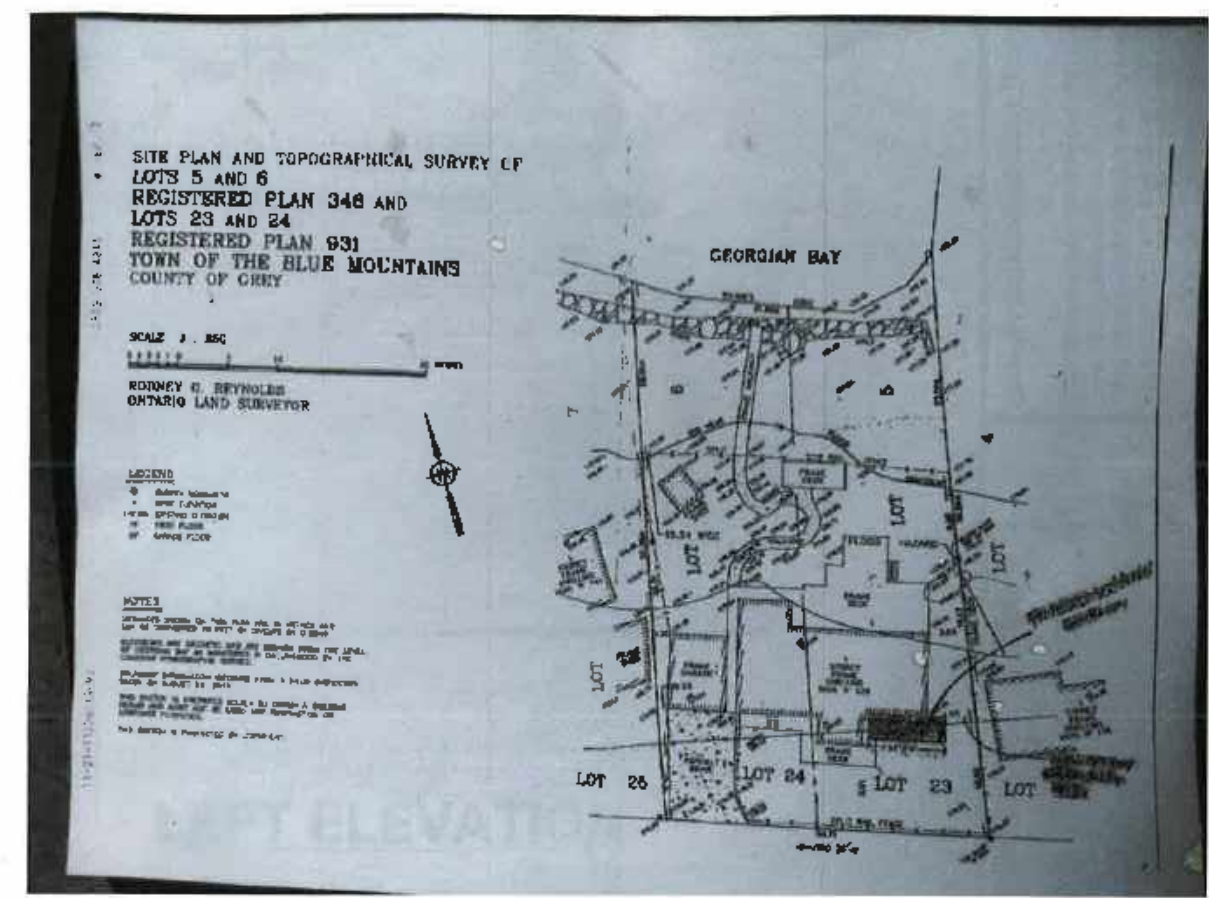
# NEW SUNROOM PLANS FOR:

OFFICE SITE COPY

## 139 LAKE DRIVE TOWN OF THE BLUE MOUNTAINS

RECEIVED  
DEC - 7 2011  
TOWN OF THE BLUE MOUNTAINS  
PLANNING & DEVELOPMENT DEPARTMENT  
PERMITS

**TOWN OF THE BLUE MOUNTAINS - REQUIRED INSPECTIONS**  
**EXCAVATION:** Prior to pouring footing, formwork & rebar (as applicable) to be in place.  
**FOUNDATION/SLAB REINFORCEMENT:** Prior to pouring concrete - rebar placement for ICF required reinforcement for foundations & suspended cold room slabs.  
**FOUNDATION/BACKFILL:** Prior to backfill foundation to be completely installed, damp proofing/waterproofing to be complete, weeping tile to be installed w/ stone cover.  
**WATER SERVICE & SANITARY DRAINAGE PIPE:** Pipes installed, water pipe @ 100 psi & sanitary pipe filled with water (5' of head) or test to minimum of 5 psi.  
**ON-SITE SANITARY SEWAGE (SEPTIC) SYSTEM:** Site Evaluation: Inspector to inspect a test pit to verify site conditions (optional). If witnessed, inspector will record observations. If contractor is constructing septic system, inspector requires name & licence # of contractor at this time. Installer must provide equipment to conduct measurement of elevations once excavation is completed & before any backfill is placed.  
**Prior to Backfill:** Substantial completion of installation of distribution pipes & septic tank before backfilling. Installer must provide equipment to conduct measurement of elevations, inspector will witness this & record observations. A copy of soil analysis report of backfill material to verify percolation time of soil must be provided to inspector at this time.  
**Completion:** Final inspection is conducted once site is properly graded & sodded or seeded.  
**UNDERFLOOR PLUMBING:** Plumbing roughed-in below & above floor slab, capped, installation filled with water (with 5' of head) or test to minimum of 5 psi.  
**MASONRY/FACTORY-BUILT FIREPLACE:** Prior to covering (fireplace, fire stops & chimney) installed. WETT Certification required for wood burning fireplaces.  
**PLUMBING & WATER DISTRIBUTION SYSTEM WITHIN BUILDING:** Water service installed & all above slab plumbing completed. Water service to be tested to 100 psi & DWV to be filled with water or tested to min. of 5 psi (to be completed prior to scheduling a framing inspection).  
**FRAMING:** Prior to installation of exterior cladding, framing to be complete (framing inspection to be done following installation of plumbing, HVAC electrical wiring).  
**HVAC (not applicable to single family detached dwellings):** Following completion of the installation of HVAC system & prior to installation of drywall.  
**FIRE SEPARATIONS/ASSEMBLIES:** If applicable, completion of all required fire stopping of penetration of assemblies required to have a fire resistance rating.  
**INSULATION/VAPOUR BARRIER:** Prior to installation of interior finishes.  
**OCCUPANCY (Interim):** All required inspections successfully completed.  
**FINAL:** All exterior grading completed, including sodding, side yard swales, walkways, etc. "Final Lot Grading Certificate" submitted & any noted deficiencies at time of Occupancy inspection to be corrected.  
**TO ARRANGE AN INSPECTION,** please call 519-599-3131, Ext 239 or email to buildingpermits@thebluemountains.ca. Please provide permit number, owner's name, date required & site location. Notification is to be provided a minimum of 2 business days in advance of applicable stage of construction.  
**RE-INSPECTION FEE:** A re-inspection fee is applicable in instances where construction associated with inspection request is not substantially ready or a follow-up inspection reveals that deficiencies identified at a previous inspection have not been rectified.



### DRAWING INDEX

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PAGE 2	ELEVATIONS
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PAGE 4	CROSS SECTIONS A/A, B/B
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	PAGE 12

#### QUALIFICATION/REGISTRATION INFORMATION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents

John R. Acres *John R. Acres* 19255  
 NAME SIGNATURE BCIN  
 John R. Acres Residential Design 31857  
 FIRM BCIN

If no permit has been applied for within 6 months from date of issuance of drawings, this stamp is null and void.

SQUARE FOOTAGE	DATE:
MAIN FLOOR 307	DEC 1, 2011
GROSS AREA 307	PAGE #
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These drawings and specifications shall remain the property of the Designer and shall not be used for any other projects without the written consent of the Designer. These documents are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the written permission and consent of the Designer.

John R. Acres  
**Residential Designs**  
 222 Nelson Street  
 Medford, Ontario  
 N4L 1H5  
 (519) 538-1283

DWG #  
**A2127**

SINCLAIR, BRUCE PRADD2011-697  
 PL 346 L5->6 PL 931 L23->24 15-095-00  
 139 LAKE DRIVE DEC 7, 2011  
 ADDITION - SUNROOM B11-0697

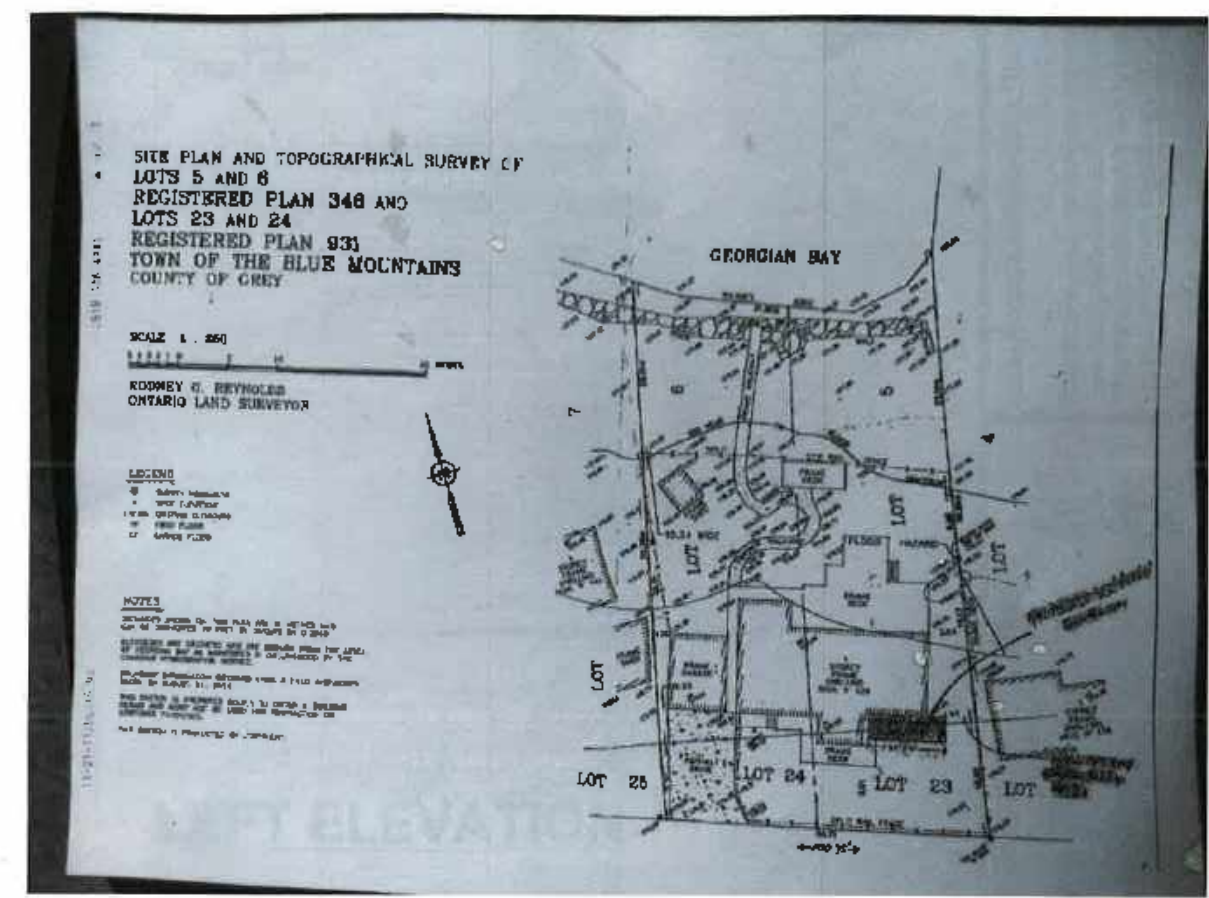
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 NAME SIGNATURE BCIN  
 John R. Acres Residential Design 31857  
 FIRM BCIN

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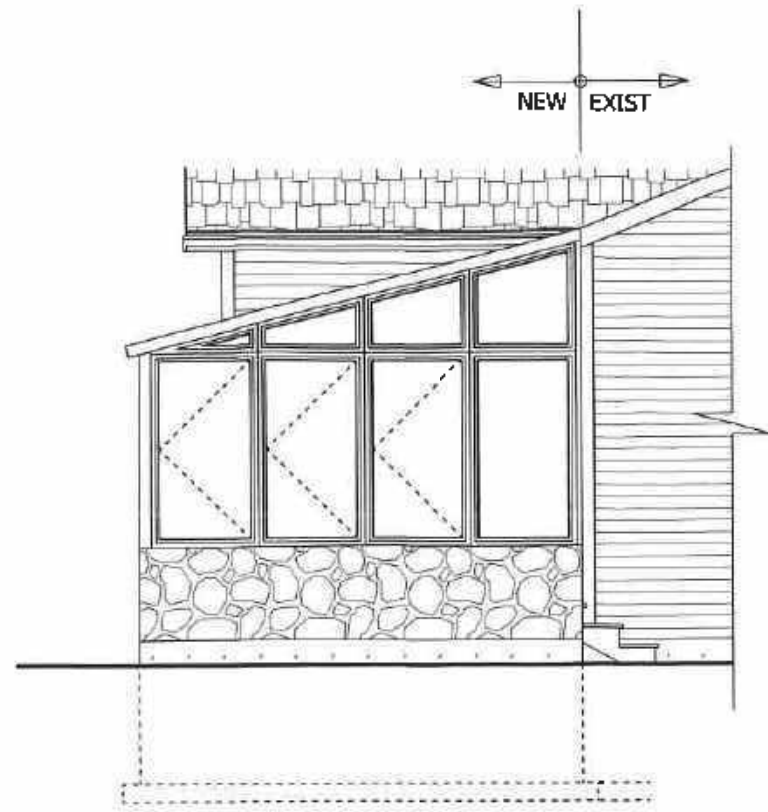
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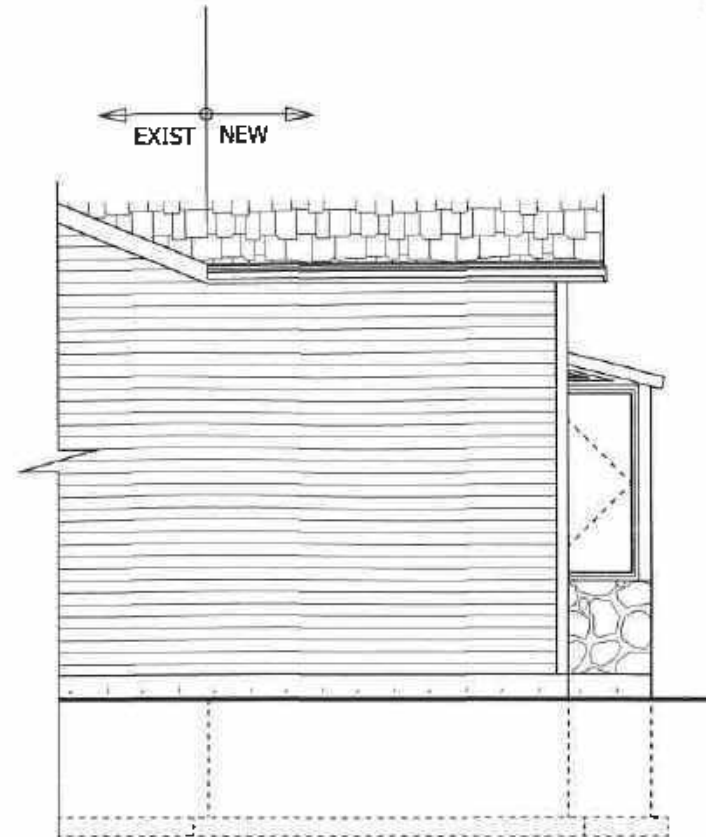
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DWG #  
**A2127**

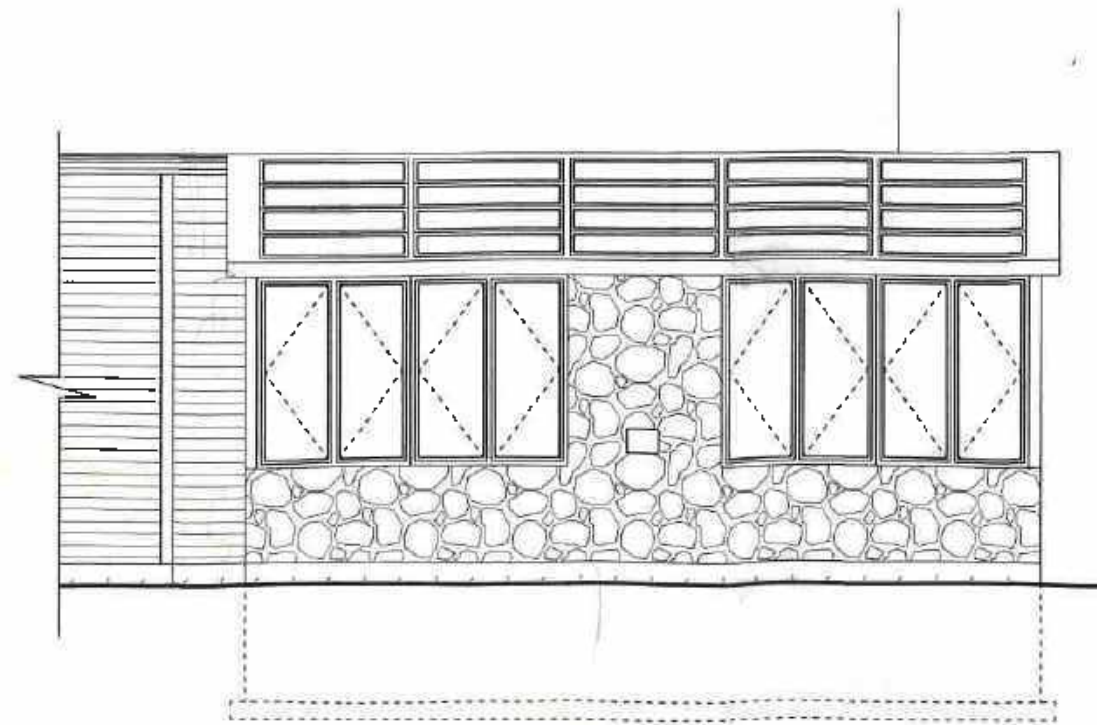
SINCLAIR, BRUCE PRADD2011-697  
 PL 346 L5->6 PL 931 L23->24 15-095-00  
 139 LAKE DRIVE DEC 7, 2011  
 ADDITION - SUNROOM B11-0697



**RIGHT ELEVATION**



**LEFT ELEVATION**



**REAR ELEVATION**

These drawings/plans have been reviewed for use with corrections as noted. No other Changes may be made without the prior approval of the Chief Building Official, or his designate, Town of The Blue Mountains. All construction must conform to the Ontario Building Code (Ontario Regulation 350/06, as amended).

These drawings/plans must be kept on site at all times. The permit document must be displayed/posted on site at all times.

Reviewed By: *[Signature]*

Date: *DEC 12, 2011*

Permit No.: *2011-697*

Enquiries: 519-599-3131, Ext. 239

**QUALIFICATION/REGISTRATION INFORMATION**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents

John R. Acres  
NAME  
SIGNATURE  
19255  
BCIN

**NEW SUNROOM PLAN FOR**

**139 LAKE DRIVE, THORNBURY,  
TOWN OF THE BLUE MOUNTAINS**

CLIENT RELEASE SIGNATURES:

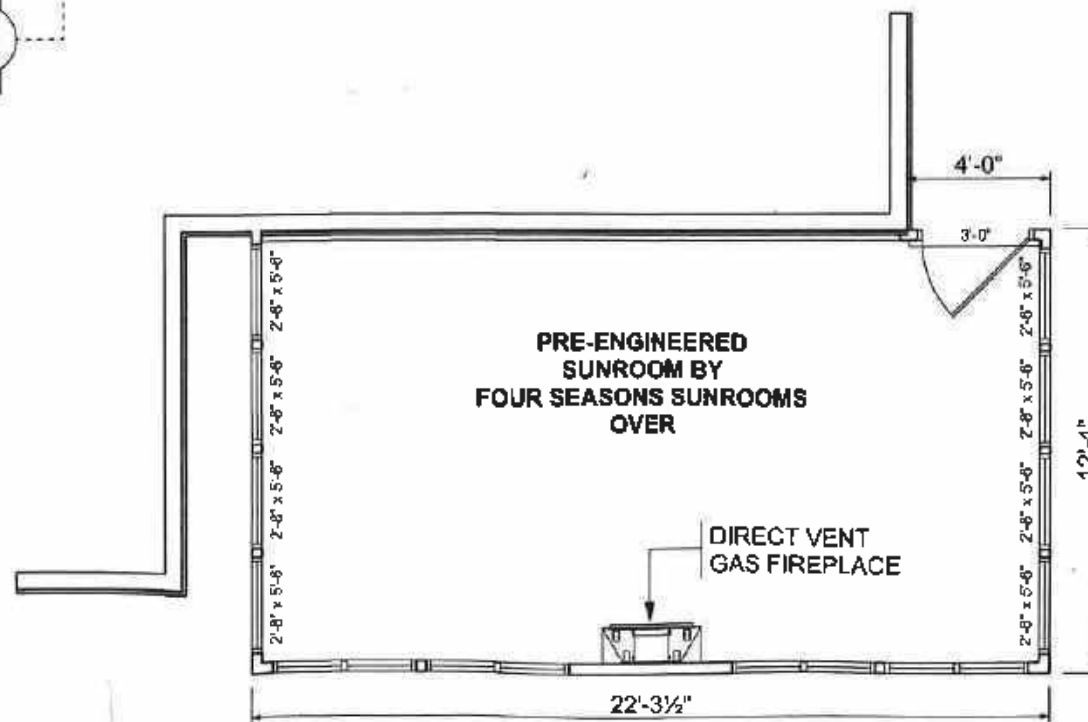
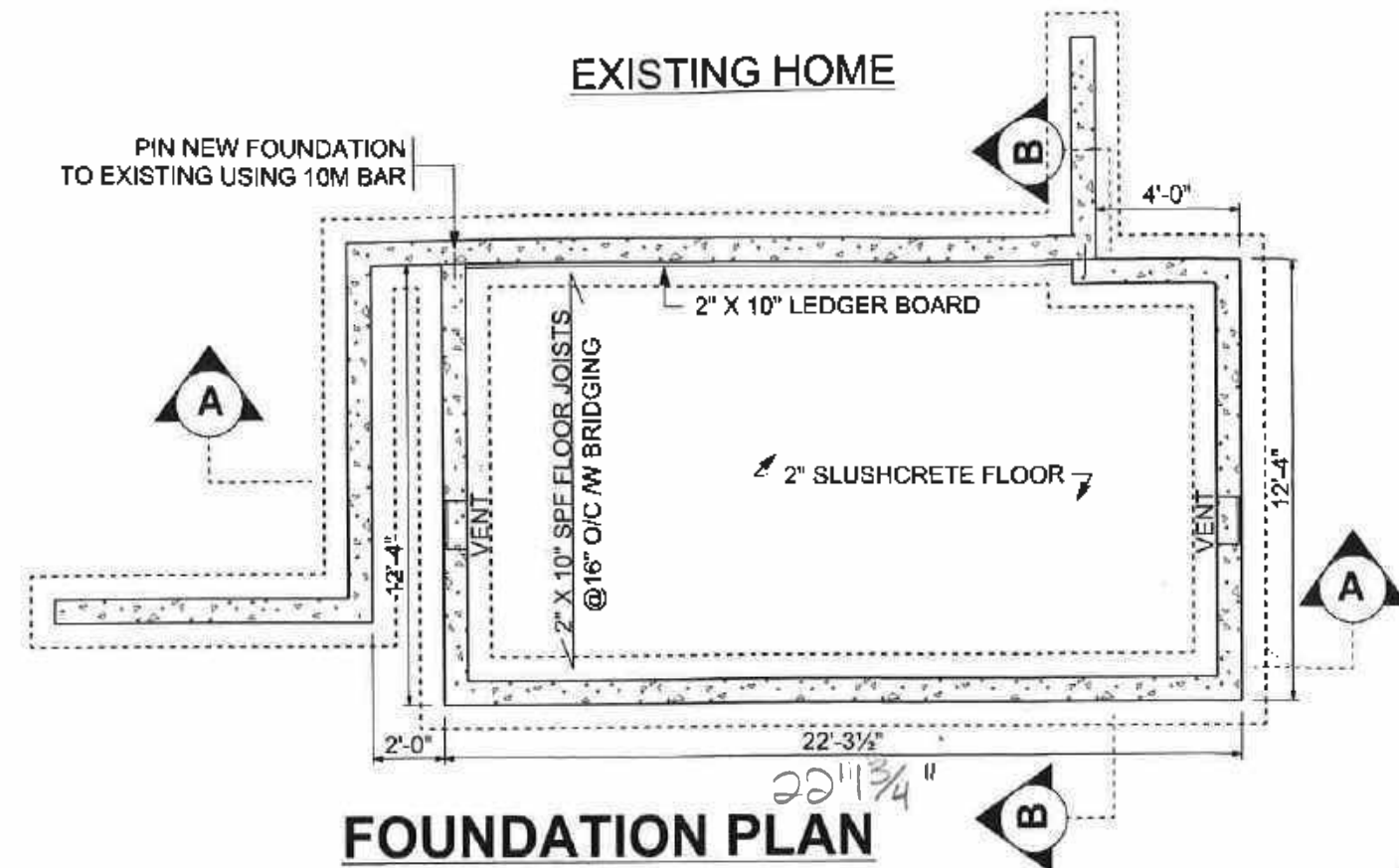
John R. Acres  
**Residential  
Designs**  
*[Signature]*  
222 Nelson Street  
Mearford, Ontario  
(519) 538-1283  
Fax: 538-3766  
e-mail: jnacres@rogers.com

SCALE: 3/16" = 1'-0" SHEET 2

**ELEVATIONS**

**DRAWING NUMBER  
A2127**

**SOFTPLAN**  
ARCHITECTURAL DESIGN SOFTWARE



**FOUNDATION PLAN**

**MAIN FLOOR PLAN**

**QUALIFICATION/REGISTRATION INFORMATION**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents

John R. Acree  
NAME  
SIGNATURE  
19255  
BCIN

**NEW SUNROOM PLAN FOR**

**139 LAKE DRIVE, THORNHURRY  
TOWN OF THE BLUE MOUNTAINS**

CLIENT RELEASE SIGNATURES:

John R. Acree  
**Residential  
Designs**  
22 Nelson Street  
Markham, Ontario  
(905) 938-1283  
Fax: 538-3766  
e-mail: jmacree@rogers.com

SCALE:

3/16" = 1'-0"

SHEET

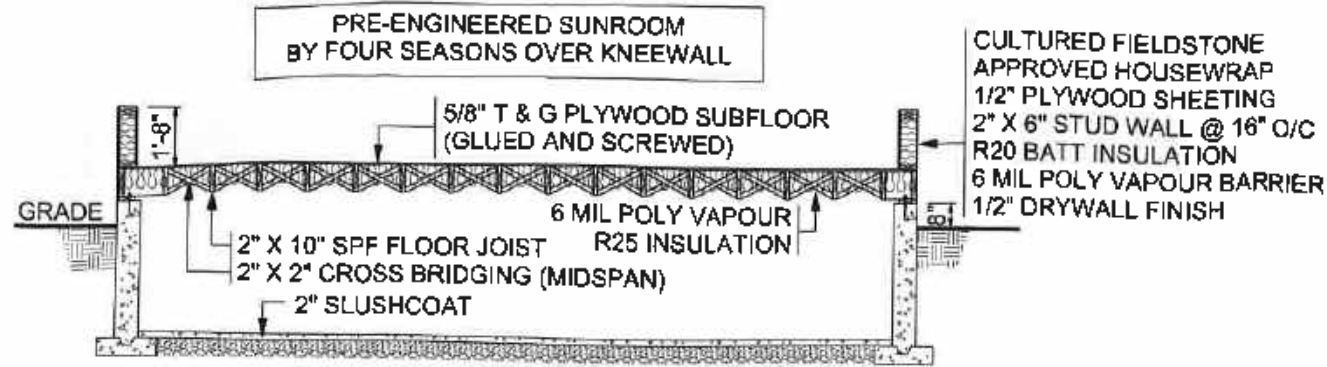
3

**AS SHOWN**

DRAWING NUMBER

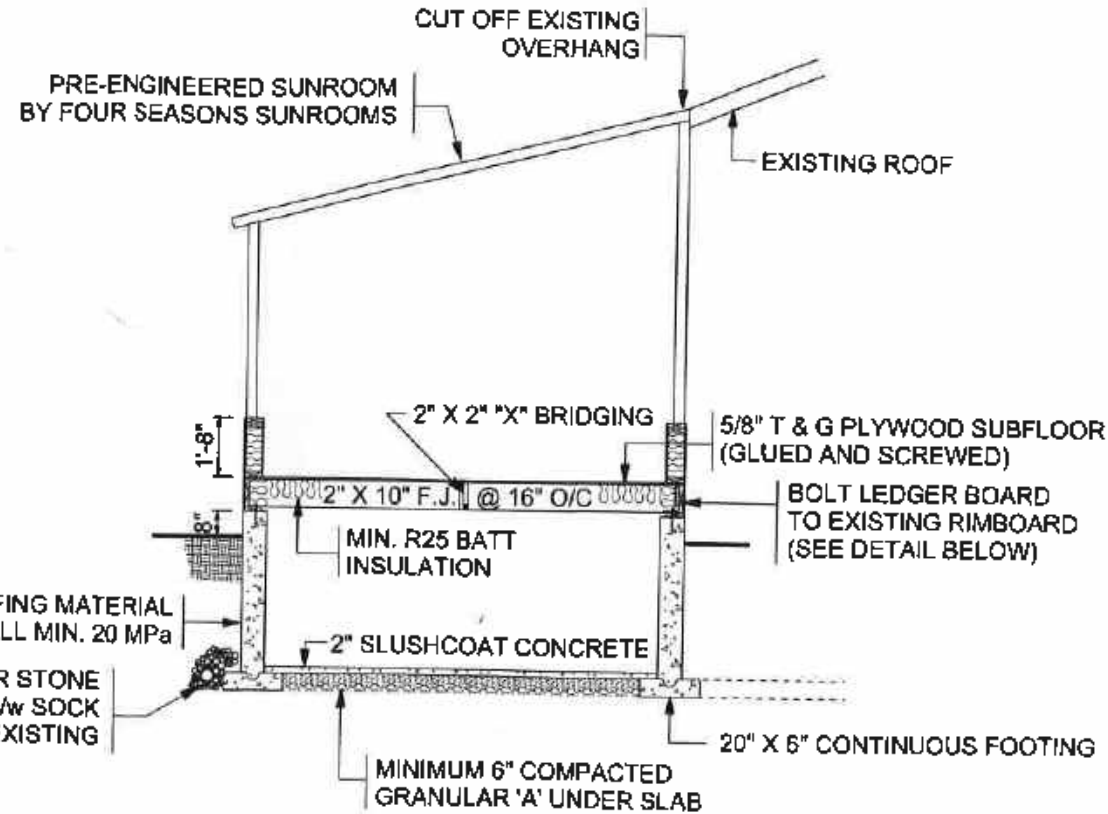
**A2127**

**SOFTPLAN**  
ARCHITECTURAL DESIGN SOFTWARE

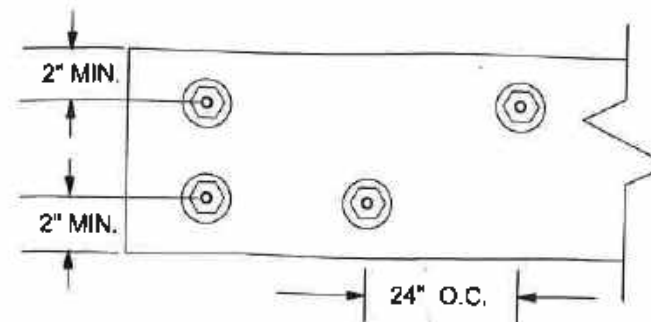


**CROSS SECTION A/A**

SCALE: 1/4" = 1'-0"



**CROSS SECTION B/B**



**TYPICAL LEDGER FASTENING**

NTS

**QUALIFICATION/REGISTRATION INFORMATION**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents

John R. Acres  
NAME  
SIGNATURE  
19255  
BCIN

**NEW SUNROOM PLAN FOR**

**139 LAKE DRIVE, THORNBURY  
TOWN OF THE BLUE MOUNTAINS**

CLIENT RELEASE SIGNATURES:

John R. Acres  
**Residential  
Designs**  
22 Nelson Street  
Markham, Ontario  
N4L 1W8  
(519) 538-1283  
fax: 538-3766  
e-mail: jmacres@rogers.com

SCALE:

3/16" = 1'-0"

SHEET

4

**SECTIONS**

DRAWING NUMBER

**A2126**

**SOFTPLAN**  
ARCHITECTURAL DESIGN SOFTWARE



## Town of The Blue Mountains

32 Mill Street, PO Box 310  
Thornbury, ON  
N0H 2P0  
Ph (519) 599 - 3131  
Fax (519) 599 - 6032  
Toll Free - 1-888-258-6867

# BUILDING PERMIT

## Permit No. PRADD20110000697

**Construction Location:**  
**139 LAKE DRIVE**  
**PLAN 346 LOT 5 TO 6 PLAN 931 LOT 23 TO 24**

OWNER:

ROLL NO.: 000015095000000

TYPE OF PERMIT: Addition

ESTIMATED CONST. VALUE: \$60000

**Date Issued: December 13, 2011**

This Permit is granted subject to the terms on the Application and on condition that all work authorized by the permit shall be completed in all respects in accordance with the Ontario Building Code and the plans, specifications and any other information on the basis of which the permit was issued, including the applicable Zoning By-law and other applicable law.

This Permit may be revoked on the expiry of six months from the date of issue if construction has not seriously commenced. This Permit may be revoked if the construction has been substantially suspended for a period of more than one year.

This Permit must be posted on-site in a visible location. Further, the plans and specifications reviewed must be kept on the site for which this Permit applies to at all times and be made available to the Town Building Official where required and/or requested.

### REGULATED HOURS OF CONSTRUCTION

#### ONLY PERMITTED DURING THE FOLLOWING HOURS:

**WEEKDAYS** Between the hours of 7:00 to 19:00  
**SATURDAYS** Between the hours of 8:00 to 13:00

Every person who contravenes any provision of By-Law 2002-9\* is guilty of an offense and conviction is liable to a penalty of up to \$5,000 as provided in the Provincial Offenses Act, chap. P.33, R.S.O. 1990. Enforcement by both a Municipal Law Enforcement Officer and the Ontario Provincial Police.

**INSPECTION REQUEST LINE: (519) 599-3131 OR 1-888-258-6867 ext. 239**

#### TOWN OF THE BLUE MOUNTAINS

Greg Miller, C.E.T., CBCO  
Chief Building Official

#### Our Corporate Mission:

*"to realize the community vision through innovative leadership and strong partnerships to provide sustainable services into the future"*



DESIGN / BUILD  
LIGHTING  
POOL & SPA CARE

519 377 9991

April 15 2020

-----  
139 Lake Dr.  
Thornbury

This estimate includes all labour, materials and equipment unless otherwise stated. Please add HST to final numbers

**Item 1: Shoreline wall**

We will raise the existing shore wall to 3' by sloping up towards the house. There will be a return at the 3' height, gradually lowering to 2' as it swings across the east side of the property (as per design.)

Also included is boulder protection for the lower deck.

**Cost: \$12,500.00**

**Item 2: Splash pad area**

This area will be filled with 2' of gabion stone creating a splash and drainage area for storm water. The area will be graded for positive drainage to the bay. Soil removed from this space will be used to raise the lawn area.

The existing sod bank will be blended and will be lined with filter cloth to retain it.

**Cost: \$4355.00**

**Item 3: Lawn area regraded**

The lawn will be raised and graded for positive drainage to the bay. Up to 8" of fill and 6" of screened topsoil will be installed and graded. This Item is priced for seeding with hydroseed.

**Cost: \$3518.00**

**Item 4: Repair access to the road**

This area will be graded for positive drainage away from the house and to the bay and 2" of topsoil installed for hydroseed.

**Cost: \$2192.00**

**NOTE\*\*\* The area under which the geothermal system is installed will be covered with plywood to spread out the weight of the equipment.**

**Item 5: Miscellaneous**

Site prep (Fence and gate sections removed and reinstalled.)

Bin and/or dump fees, irrigation repair.

**Cost: \$1830.00**

**Cost of project: \$24,395.00 + HST**

From the date of installation, Heartwood Landscapes guarantees against settlement of pavers and walls and against separation of wall units for a 3 year period. This guarantee covers the normal wear for which the product was intended.

All green goods come with a 1 year guarantee, against disease provided proper maintenance and protection have been performed by the homeowner (watering, weeding, cultivation, fertilizing, etc.)

This guarantee does not include transplanted material.



