



COLLABORATIVE REAL ESTATE

KAREN E. WILLISON, RLP LOCATIONS NORTH BROKERAGE



Listing Information Package

122 Timber Leif Ridge, The Blue Mountains



KAREN E. WILLISON Sales Representative
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LOCATIONS NORTH





[CollaborativeRealEstate.ca](https://www.collaborativerealestate.ca)



6,615 sq. ft.



6 Bed



5 Bath



COLLABORATIVE REAL ESTATE

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Quick Facts

122 Timber Leif Ridge, The Town of Blue Mountains

- Beautiful 6,000+ sq. ft. custom Post & Beam home by Abbott Design
- Multiple award winning landscaping with limestone rock features, lighting, multiple seating areas, concrete swimming pool, hot tub, cabana, pergola & multiple fireplaces
- Located beside 11th tee of Georgian Bay Golf Club
- Premium ravine lot with stunning views
- 6 bedrooms with primary suite on the main floor
- 5 luxury baths
- 5 car garage with workshop..the ultimate man cave
- Gym with steam shower, games room, media room



COLLABORATIVE
REAL ESTATE

10 Favourite Things About This Home –
122 Timber Leif Ridge, The Blue Mountains

1	Multiple award winning landscaping – follow the sun/light in 3 distinct garden areas as the day unfolds – with quiet sitting areas as well as room for entertaining and dining. Fully planted with natural stone and water features.
2	Custom designed gunite swimming pool with hot tub set to rear of the property in a private oasis. Constructed by Paradise Pools
3	Large 5 car garage with workshop includes; custom cabinets, heated floors dressed with RaceDeck flooring, AV equipment and convenient access to the pool table and games area off to the side. The perfect "man cave".
4	Large AV/media room with stone feature fireplace and adjacent "games area" add to the "entertainment" features of the house.
5	Abundance of natural stonework through the Great Room and principal bedroom.
6	Large main floor principal bedroom suite with spa bath and incorporated dressing room with California Closet cabinetry.
7	The Great Room, perfect for entertaining and relaxing with friends & family, includes soaring ceilings, custom designed (Harvest House) cabinetry and a gourmet kitchen with Wolf/Sub Zero appliances. A "window wall" provides views of the ravine and a view of the seasonal changes to the surrounding trees.
8	Location at the end of the private road provides for tranquil views over the adjacent ravine towards the Georgian Peaks Ski Club/Georgian Bay Golf Club.
9	Hubbardton Forge lighting throughout the house (inside and outside) is testament to the quality of the build and thought that has gone into this home.
10	An "Aspen Like" experience in Ontario, with access to beautiful trails (including the Bruce Trail), Georgian Bay and the surrounding countryside, as well as shopping, boutique art and restaurant experiences and other amenities in Thornbury and Clarksburg. Perfectly located for members of the private ski clubs as well as Georgian Bay Golf Club, and also the Thornbury and Meaford Harbours for sailors.



Expense/Utility/House Details

Property Address: 122 Timber Leif Ridge, The Blue Mountains

House Details

Item	Year	Notes
Year Home was Built	2009	
Air Conditioner	2009	
Air Exchanger	2009	
Windows	2009	
Roof	2009	Maintenance in April 2021
Furnace	2009	Maintenance in July 2021

Fees and Utility Costs

Utility	Yearly Cost	Provider
Current Property Taxes	\$13,674.00 (2020)	Town of Blue Mountains
Insurance Premium	\$9,483.00 (2020)	Chubb
Gas	\$1,960.00 (2020)	Union Gas
Hydro	\$3,351.00 (2020) \$1,383.00 (7 months - 2021)	Hydro One
Water/Sewer	\$3,000.00	Town of Blue Mountains
Internet/Cable/Phone Provider	\$2,800.00	Rogers
Lawn/Garden Maintenance	\$5,700.00 Garden (2021) \$2,237.00 Spring/Fall Clean-Up (2021)	Landmark
Snow Removal	N/A	Self
Condo Fee	\$2,700.00	GCECC 67

Appliances

Appliance	Make/Model	Year/Notes
Refrigerator/Freezer	Sub Zero 700TR/700TFI	2010
Dishwasher	Miele	2010
Stove/Oven	Wolf SRT366/DO30FS	2010
Beverage Fridge	Sub Zero 424	2010
Microwave	Wolf MWD24	2010
Washer	Whirlpool	2010
Dryer	Whirlpool	2010

Additions/Upgrades

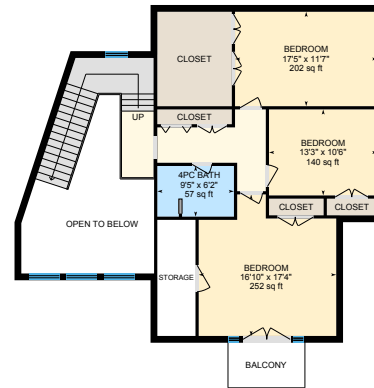
Item	Year	Details/Notes
Huronion Alarm System	2021	

122 Timber Leif Ridge, The Blue Mountains, ON

Main Building: Total Exterior Area Above Grade 4403.07 sq ft



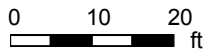
Main Floor
Exterior Area 3189.31 sq ft



2nd Floor
Exterior Area 1213.76 sq ft



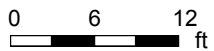
Lower Level (Below Grade)
Exterior Area 2212.30 sq ft



PREPARED: Aug 2021

122 Timber Leif Ridge, The Blue Mountains, ON

Main Floor Total Exterior Area 3189.31 sq ft
Total Interior Area 2949.08 sq ft

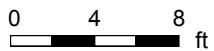
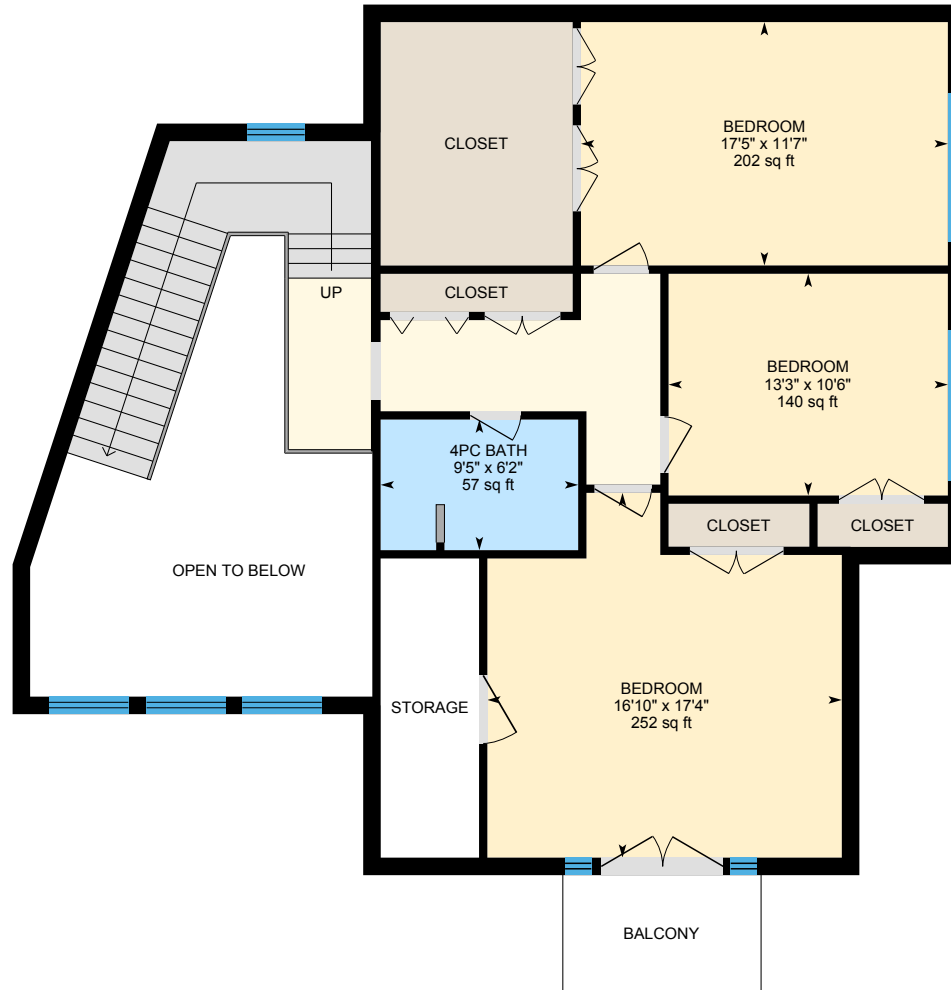


PREPARED: Aug 2021



122 Timber Leif Ridge, The Blue Mountains, ON

2nd Floor Total Exterior Area 1213.76 sq ft
Total Interior Area 1076.87 sq ft

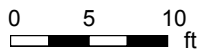


PREPARED: Aug 2021



122 Timber Leif Ridge, The Blue Mountains, ON

Lower Level Total Exterior Area 2212.30 sq ft
Total Interior Area 2031.97 sq ft



PREPARED: Aug 2021



White regions are excluded from total floor area in iGUIDE floor plans. All room dimensions and floor areas must be considered approximate and are subject to independent verification.

122 Timber Leif Ridge, The Blue Mountains, ON

Property Details

Room Measurements

Only major rooms are listed. Some listed rooms may be excluded from total interior floor area (e.g. garage). Room dimensions are largest length and width; parts of room may be smaller. Room area is not always equal to product of length and width.

Main Building

MAIN FLOOR

2pc Bath: 6'2" x 6'6" | 40 sq ft
3pc Ensuite: 9'7" x 7'11" | 70 sq ft
5pc Ensuite: 9'8" x 16'8" | 160 sq ft
Dining: 25'6" x 12'9" | 325 sq ft
Kitchen: 25'5" x 16'5" | 415 sq ft
Living: 25'6" x 16'4" | 414 sq ft
Primary: 21'5" x 16'5" | 352 sq ft
Secondary Primary: 13'3" x 14'3" | 188 sq ft
Study: 13'4" x 14'3" | 189 sq ft

2ND FLOOR

4pc Bath: 9'5" x 6'2" | 57 sq ft
Bedroom: 16'10" x 17'4" | 252 sq ft
Bedroom: 13'3" x 10'6" | 140 sq ft
Bedroom: 17'5" x 11'7" | 202 sq ft

LOWER LEVEL

2pc Bath: 5'4" x 6'2" | 33 sq ft
Bedroom: 18'1" x 13'11" | 251 sq ft
Billiards Room: 22'3" x 40'10" | 599 sq ft
Garage/Man Cave: 25'10" x 47'3" | 1107 sq ft
Gym: 15'8" x 9'9" | 129 sq ft
Laundry: 5'7" x 13'11" | 75 sq ft
Media Room: 21'11" x 29'8" | 579 sq ft
Steam Room: 5'3" x 6'3" | 33 sq ft

Floor Area Information

Floor areas include footprint area of interior walls. All displayed floor areas are rounded to two decimal places. Total area is computed before rounding and may not equal to sum of displayed floor areas.

Main Building

MAIN FLOOR

Interior Area: 2949.08 sq ft
Excluded Area: 44.32 sq ft
Perimeter Wall Length: 288 ft
Perimeter Wall Thickness: 10.0 in
Exterior Area: 3189.31 sq ft

2ND FLOOR

Interior Area: 1076.87 sq ft
Excluded Area: 291.20 sq ft
Perimeter Wall Length: 164 ft
Perimeter Wall Thickness: 10.0 in
Exterior Area: 1213.76 sq ft

LOWER LEVEL (Below Grade)

Interior Area: 2031.97 sq ft
Excluded Area: 1106.84 sq ft
Perimeter Wall Length: 216 ft
Perimeter Wall Thickness: 10.0 in
Exterior Area: 2212.30 sq ft

Total Above Grade Floor Area

Main Building Interior: 4025.95 sq ft
Main Building Excluded: 335.52 sq ft
Main Building Exterior: 4403.07 sq ft

122 Timber Leif Ridge, The Blue Mountains, ON

iGUIDE Method of Measurement

Definitions

Interior Area is a per floor calculation, made by measuring to the inside surface of the exterior walls.

Excluded Area is a sum of interior areas of all rooms (measured to the inside surface of room walls) that are excluded from the Interior Area for a floor. Prescribed area exclusions can vary from region to region. Examples of exclusions are spaces open to below, garages, cold cellars, crawl and reduced height spaces, non-enclosed open spaces, such as decks and balconies.

The footprint of all interior walls and staircases is typically included in the reported Interior Area for a floor. The iGUIDE PDF floor plans use color to highlight all included areas. All excluded areas are shown white.

Exterior Area is a per floor calculation, made by measuring to the outside surface of the exterior walls, see below for calculation details.

Grade is the ground level at the perimeter of the exterior finished surface of a house. A floor is considered to be above grade if its floor level is everywhere above grade.

Total Interior Area is the sum of all Interior Areas.

Total Excluded Area is the sum of all Excluded Areas.

Total Exterior Area is the sum of all Exterior Areas.

Unfinished Area is the sum of interior areas of all unfinished rooms (measured to the inside surface of room walls).

Finished Area is Exterior Area minus Unfinished Area. Finished Area includes the footprint of interior and exterior walls.

iGUIDE Exterior Area Calculation

Exterior Area = [Perimeter Wall Thickness] x [Perimeter Wall Length] + [Interior Area]

Notes

A. **Perimeter Wall Thickness** is an independent measurement taken from the property, typically, at the main entrance. Considerations are not made for varying wall thickness around the perimeter.

B. **Perimeter Wall Length** is the sum of lengths of all exterior wall segments on a particular floor. When used to calculate Total Exterior Area Above Grade based on Total Interior Area Above Grade, it is the sum of perimeter wall lengths of all floors above grade.

Disclaimer

All dimensions and floor areas must be considered approximate and are subject to independent verification.

STRUCTURAL NOTES

EXCAVATION / DEMOLITION

- EXECUTE EXCAVATION IN SUCH A MANNER AS TO PREVENT MOVEMENT OR DAMAGE TO ADJACENT STRUCTURES, PROPERTY, SERVICES, ROADS & SIDEWALKS DURING ENTIRE CONSTRUCTION PROCESS.
- PROVIDE TEMPORARY SHORING & BRACING AS REQUIRED TO MAINTAIN THE STRUCTURE IN A SAFE CONDITION UNTIL PERMANENT LOAD-BEARING MEMBERS ARE IN PLACE.
- VERIFY LOCATION OF ANY UNDERGROUND OR HIDDEN SERVICES BEFORE COMMENCING EXCAVATION AND/OR DEMOLITION.
- ALL STUMPS, ROOTS, AND OTHER DEBRIS IMPEDING THE WORK AREA SHALL BE REMOVED FROM THE SOIL TO A MINIMUM DEPTH OF 12" IN UNEXCAVATED AREAS UNDER A BUILDING AND A MINIMUM OF 2'-0" BEYOND THE PERIMETER OF THE BUILDING.

FOOTING / FOUNDATION

- FOOTINGS SHALL BE FOUNDED ON NATIVE, INORGANIC, UNDISTURBED SOIL CAPABLE OF SUSTAINING MINIMUM 3,000 PSF OF ALLOWABLE BEARING PRESSURE.
- SLOPE BETWEEN STEPPED OR ADJACENT FOOTINGS SHALL HAVE A MAXIMUM OF 1 VERTICAL AND 10 HORIZONTAL, AND STEPS SHALL NOT EXCEED 2 FEET VERTICALLY.
- EXTERIOR FOOTINGS SHALL BE FOUNDED AT A MINIMUM LEVEL OF AT LEAST FOUR FEET BELOW FINISH GRADE.
- PROVIDE 4'-0" FROST PROTECTION TO EXTERIOR FOOTINGS.
- ENSURE ADEQUATE BRACING OF FOUNDATION WALLS PRIOR TO BACKFILLING.
- PROVIDE A MOOD SILL PLATE FASTENED TO FOUNDATION WALL WITH MINIMUM 1/2" #4 ANCHOR BOLTS EMBEDDED A MINIMUM OF 4" INTO CONCRETE AT 7'-0" O.C. PROVIDE SILL GASKET BETWEEN FOUNDATION WALL AND SILL PLATE.

SLAB ON GRADE

- BEDDING FOR SLAB ON GRADE TO BE MINIMUM 8" THICK LAYER OF GRANULAR A OR 3/4" CRUSHER RUN LIMESTONE, COMPACTED TO 98% STANDARD PROCTOR DENSITY.
- PROVIDE 6 MIL POLYETHYLENE VAPOUR BARRIER BETWEEN SLAB AND GRANULAR BEDDING.
- ALL SLAB ON GRADE SHALL BE REINFORCED WITH #4@16" X 6" PLACED 1.5" CLEAR FROM TOP OF SLAB.

STRUCTURAL STEEL

- ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED TO THE REQUIREMENTS OF CSA STANDARD CAN3-S16.1-M04.
- ALL STRUCTURAL STEEL SHALL BE CSA 640.21-H-300 AND 350M FOR H.S.S. CLASS H.
- WELDING SHALL CONFORM TO THE REQUIREMENTS OF CSA-W59, AND SHALL BE UNDERTAKEN BY A FABRICATOR APPROVED BY THE CANADIAN WELDING BUREAU TO THE REQUIREMENTS OF W41 CANADIAN WELDING STANDARD.

- ALL STRUCTURAL STEEL SHOP DRAWINGS, BEARING THE STAMP OF A REGISTERED PROFESSIONAL ENGINEER OF ONTARIO, SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW BEFORE PROCEEDING WITH THE FABRICATION OF CONCRETE.

- CAST-IN-PLACE CONCRETE CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD CAN3-A23.1-M04.
- MINIMUM SPECIFIED STRENGTH OF 32MPa AT 28 DAYS FOR PORCH SLABS, GARAGE SLABS AND EXTERIOR FLATWORK. 25MPa AT 28 DAYS FOR ALL OTHER CONCRETE WORK.
- PROVIDE 18% AIR ENTRAINMENT FOR ALL CONCRETE EXPOSED TO WEATHER.
- ALL REINFORCING STEEL TO BE DEFORMED BARS CONFORMING TO CSA G30.12-H GRADE 400.
- COLD WEATHER CONCRETING SHALL CONFORM TO CSA STANDARD CAN3-A23.1-M04. PROVIDE TEMPORARY ENCLOSURE AND HEATING WHEN REQUIRED.

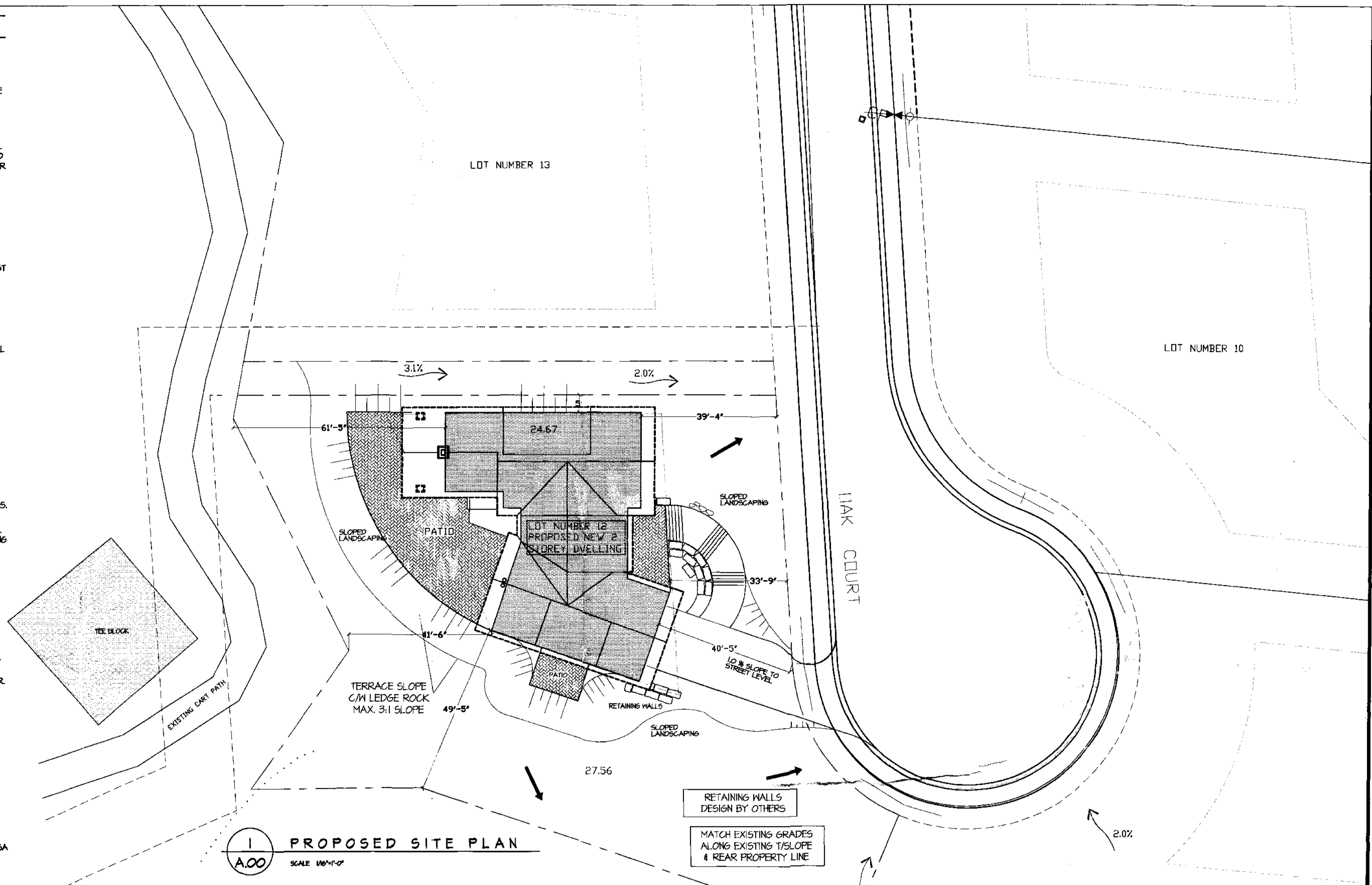
MASONRY

- MASONRY CONSTRUCTION SHALL CONFORM TO CSA STANDARD CAN3-A311-M04.
- ALL PLAIN AND REINFORCED MASONRY SHALL CONFORM TO CAN3-A165 SERIES-M05 FOR CONCRETE MASONRY UNITS, AND CAN/CSA-A821-M07 BURNED CLAY BRICK UNITS.
- ALL CONCRETE BLOCKS SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 22MPa ON NET AREA.
- MORTAR FOR ALL MASONRY WALLS SHALL BE TYPE 'M' AS DEFINED IN CSA STANDARD A191-M176.
- CONCRETE BLOCK WALL SHALL BE REINFORCED HORIZONTALLY WITH STANDARD BLOC-LOK AT 16" O.C. VERTICALLY AS PER MANUFACTURER'S SPECIFICATIONS.
- REINFORCED MASONRY SHALL BE GROUTED WITH 20MPa CONCRETE, 3/8" AGGREGATE (PEA GRAVEL) AND 8" SLUMP.

TIMBER / WOOD FRAME CONSTRUCTION

- TIMBER CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD CAN3-086-1M09 AND ALL WORKMANSHIP SHALL CONFORM TO PART 4 OF THE O.B.C.
- FRAMING LUMBER: No. 2 S-P-F
- POSTS & TIMBERS: No. 2 S-P-F
- T.J. JOISTS SHALL DENOTE WOOD 1 JOISTS MANUFACTURED BY TRUS JOIST MacMILLAN OR EQUIVALENT PRODUCT FROM OTHER APPROVED MANUFACTURER. INSTALL IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- FSL MATERIAL: 2.0E PARALLAM AS MANUFACTURED BY TRUS JOIST MacMILLAN OR EQUIVALENT PRODUCT FROM OTHER APPROVED MANUFACTURER. INSTALL IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- LVL MATERIAL: 1.7E MICROLAM AS MANUFACTURED BY TRUS JOIST MacMILLAN OR EQUIVALENT PRODUCT FROM OTHER APPROVED MANUFACTURER. INSTALL IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROVIDE MINIMUM BEARING LENGTH OF 1 1/2" FOR JOIST AND 3 1/2" FOR BEAMS.
- LVL BEAMS AND T.J. JOISTS FRAMING TO THE SIDE OF ANOTHER WOOD MEMBER SHALL BE SUPPORTED BY APPROPRIATE HANGERS.
- PROVIDE DOUBLE JOIST UNDER NON-LOAD BEARING PARTITIONS PARALLEL TO JOIST.
- PROVIDE ALL LUMBER FLOOR JOISTS WITH 2 X 2 CROSS BRIDGING OR SOLID BLOCKING AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROVIDE 5/8" MINIMUM THICKNESS PLYWOOD SUBFLOORING - STAGGER SHEET JOINTS. GLUE AND SCREW TO FLOOR JOISTS. (TIMBER SUPPLIER TO PROVIDE SHOP DWGS PRIOR TO FABRICATION)

NOTE: ALL POINT LOADS TO BE TRANSFERRED DOWN TO FOOTINGS - TYP.



1 PROPOSED SITE PLAN
SCALE 1/8"=1'-0"

GENERAL CONSTRUCTION NOTES

- DRAWINGS & SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT. ANY REPRODUCTION WITHOUT WRITTEN CONSENT IS STRICTLY PROHIBITED.
- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS ARE TAKEN TO FACE OF NEW WALLBOARD OR FACE OF BUILDING UNLESS NOTED OTHERWISE. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK - INCLUDING EXTERIOR LANDSCAPING. REPORT IN WRITING ALL DISCOVERED ERRORS OR OMISSIONS TO THE ARCHITECT IMMEDIATELY.
- HANDWRITTEN NOTES WHICH APPEAR ON DRAWING ABBREVIATED BY ARCHITECT/ENGINEER SHALL HAVE PRECEDENCE.
- ALL PERMITS, BUILDING, ELECTRICAL, PLUMBING ETC, PERTAINING TO THIS PROJECT SHALL BE THE CONTRACTORS RESPONSIBILITY.
- ALL TRADES SHALL SUPPLY AND INSTALL ALL WORK AS DESCRIBED ON THESE DRAWINGS AND SPECIFICATIONS IN A UNIFORM, HIGH QUALITY OF WORKMANSHIP, AND IN STRICT ACCORDANCE WITH STANDARD PRACTICE, THE LATEST VERSION OF THE ONTARIO BUILDING CODE - PART 4 AS AMENDED AND ALL AUTHORITIES HAVING JURISDICTION. MEDIOCRE OR INFERIOR WORK SHALL BE REPLACED AT NO EXTRA COST TO THE OWNER.
- EACH SUB-CONTRACTOR SHALL ENSURE THAT A COMPETENT AND RESPONSIBLE SUPERVISOR BE ON SITE AT ALL TIMES WHEN WORK IS BEING DONE. HE SHALL ENSURE THAT SAID SUPERVISOR BE KNOWLEDGEABLE ABOUT THE TOTAL SCOPE OF WORK AND THE COMPLETE SPECIFICATIONS FOR HIS TRADE.
- MANUFACTURED ITEMS AND MATERIALS MUST COMPLY WITH ALL REQUIREMENTS OF ULC, CSA OR ANY OTHER REGULATING BODIES AS PER APPLICABLE CODE.
- ALL EXISTING SURFACES ADJACENT TO NEW CONSTRUCTION AND THROUGH WHICH CONSTRUCTION MATERIALS AND CONTRACTOR'S FORCES MOVE ARE TO BE PROTECTED.
- CONTRACTOR MUST RECEIVE PERMISSION FROM OWNER PRIOR TO INSTALLATION OF HIS COMPANY JOB SIGN. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ARCHITECT'S SIGN (LOCATION TO BE DETERMINED ON SITE) AND FOR ITS PROTECTION DURING THE COURSE OF THE PROJECT.
- CONTRACTOR TO PROVIDE SOLID WOOD BLOCKING FOR SUSPENDED CABINETS - COORDINATE WITH MILLWORK SUBSTRATE.
- EACH CLOSET TO BE PROVIDED WITH A 16" DEEP SHELF AND 1 1/4" CHROME ROD AT 5'-6" A.F.F. MAXIMUM UNSUPPORTED LENGTH TO BE NO GREATER THAN 4'-0".
- ALL WINDOWS TO CONFORM TO THE REQUIREMENTS FOR WINDOW RATINGS A), B) AND C) IN CAN3-A440.
- ALL EXTERIOR DOORS ARE TO COMPLY TO RESIST FORCED ENTRY AS PER OBC 9.8.6 AND WINDOWS AS PER OBC 9.7.6.
- ALL HANDRAILS SHALL CONFORM TO OBC 9.8.7 AND ALL GUARDRAILS SHALL CONFORM TO OBC 9.8.8 AND SUSTAIN MINIMUM LOADINGS AS PER OBC 4.11.0.1.
- CONTRACTOR TO STORE ANY EXISTING ITEMS REMOVED AS A RESULT OF DEMOLITION OR REQUIRE PROTECTION DURING CONSTRUCTION PROCESS AS DIRECTED BY HOMEOWNER.
- CONTRACTOR TO PROVIDE FOR A PROFESSIONAL CLEANING AT THE END OF THE PROJECT AND LEAVE THE PREMISES CLEAN AND FREE OF DEBRIS.
- SUBMIT SHOP DRAWINGS TO ARCHITECT / ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT OF FABRICATION. ALLOW FOR A MINIMUM OF SEVEN DAYS FOR RETURN OF REVIEWED SHOP DRAWINGS.

SITE INFORMATION

LEGAL DESCRIPTION

LOT 12, DRAFT PLAN OF SUBDIVISION OF PART OF LOT 27, CONCESSION 7 (GEOGRAPHIC TOWNSHIP OF COLLINGWOOD) TOWN OF THE BLUE MOUNTAINS, COUNTY OF GREY
COPYRIGHT ZUBEK, EMO, PATTEN AND THOMSON LTD. 2006
Ontario Land Surveyors

ZONING DATA

BUILDING ENVELOPE AREA:	4650 SQ. FT.
GROUND FLOOR, (NET INCLUDING PATIO AREA - ADD 180 SQ.FT.)	3160 SQ. FT.
SECOND FLOOR:	133 SQ. FT.
OPTIONAL LOFT:	136 SQ. FT.
TOTAL BUILDING CONSTRUCTION G.F.A.:	4031 SQ. FT.
FINISHED BASEMENT:	2166 SQ. FT.
GARAGE:	1524 SQ. FT.

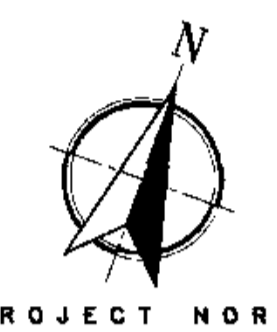
KEY PLAN

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB SITE BEFORE PROCEEDING WITH WORK.

LATEST APPROVED DRAWINGS ONLY TO BE USED FOR CONSTRUCTION.

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

DRAWINGS NOT TO BE SCALED.



ARCHITECTURAL
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the Building Code

Bradley Abbott 24508
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code

WB Abbott Design Ltd. 32439
FIRM NAME BCN

STRUCTURAL
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the Building Code

NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code

FIRM NAME BCN

NO.	DATE	DESCRIPTION

REVISIONS

abbott
INSPIRED HOME DESIGNS

ABBOTT DESIGN LTD.
T 416 . 944 . 2898
F 416 . 944 . 0643
200 - 542 - 18 PLEASANT RD.
TORONTO, ONTARIO M4S 2M7

PROJECT TITLE
WILLIS HOMES, LOT 12

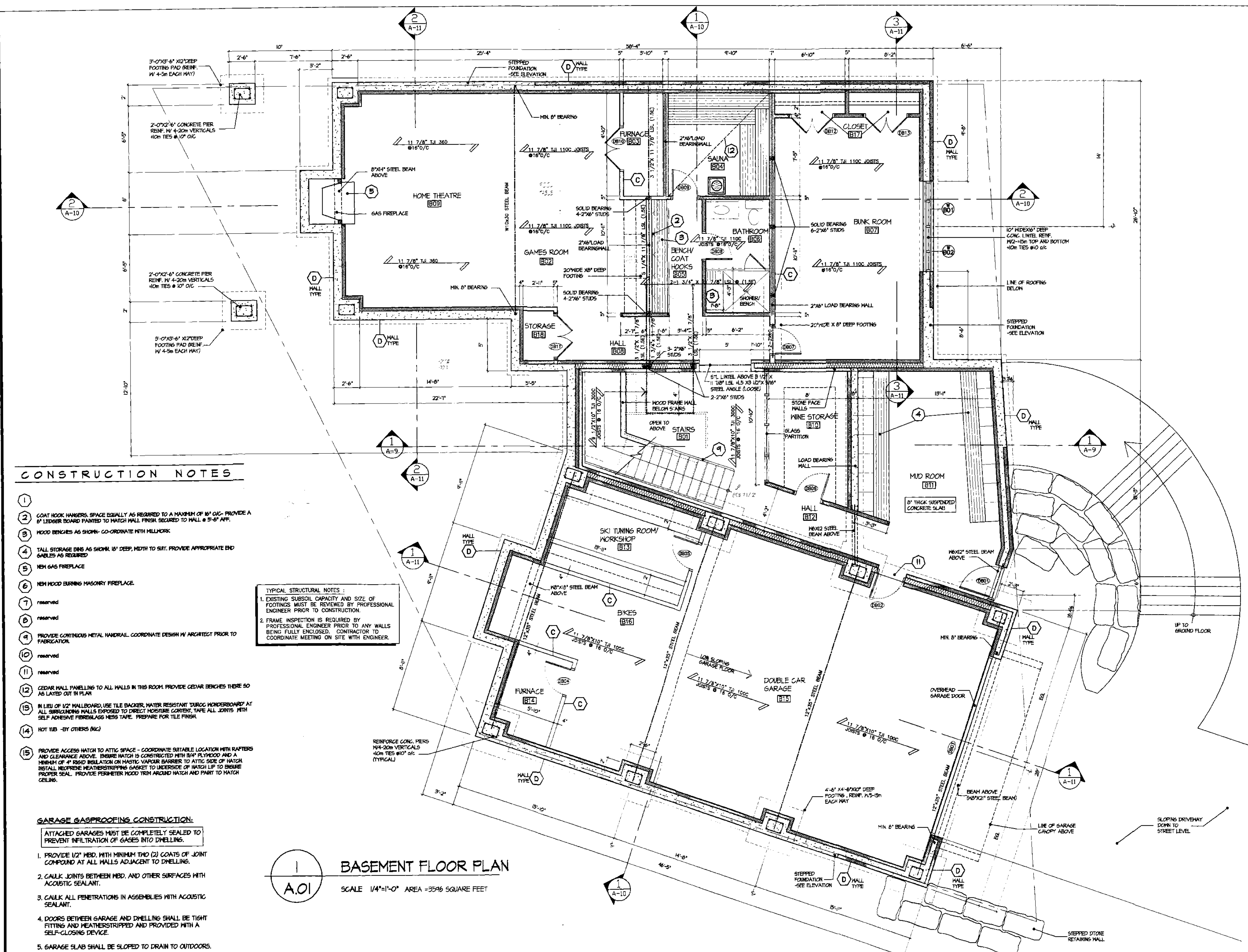
GEORGIAN BAY CLUB,
TOWN OF THE BLUE MOUNTAINS

SHEET TITLE
SITE PLAN

GEORGIAN BAY CLUB

DRAWN BY	DATE
HM	10-MAR-06
CHECKED BY	DATE
WBA	10 MAR - 06
SCALE	FILE
1/16" = 1'-0"	XXXXXXX

PROJECT NO. **XXXX** DRAWING NO. **A.00**



CONSTRUCTION NOTES

- 1 COAT HOOK HANGERS, SPACE EQUALLY AS REQUIRED TO A MAXIMUM OF 16" O/C. PROVIDE A 6" LEDGER BOARD PAINTED TO MATCH WALL FINISH, SECURED TO WALL @ 5'-0" AFF.
- 2 HOOD BENCHES AS SHOWN - CO-ORDINATE WITH MILLWORK
- 3 TALL STORAGE DNS AS SHOWN, 18" DEEP, MOUTH TO SUIT. PROVIDE APPROPRIATE END GABLES AS REQUIRED
- 4 NEW GAS FIREPLACE
- 5 NEW HOOD BURNING MASONRY FIREPLACE
- 7 reserved
- 8 reserved
- 9 PROVIDE CONTINUOUS METAL HANDRAIL, COORDINATE DESIGN W/ ARCHITECT PRIOR TO FABRICATION
- 10 reserved
- 11 reserved
- 12 CEDAR WALL PANNELLING TO ALL WALLS IN THIS ROOM. PROVIDE CEDAR BENCHES THERE 50 AS LAYED OUT IN PLAN
- 13 IN LIEU OF 1/2" MULLBOARD, USE TILE BACKER, WATER RESISTANT 'DURCO MONDERBOARD' AT ALL SURROUNDING WALLS EXPOSED TO DIRECT MOISTURE CONTENT, TAPE ALL JOINTS WITH SELF ADHESIVE FIBREGLASS MESH TAPE. PREPARE FOR TILE FINISH
- 14 HOT TUB -BY OTHERS (N/C)
- 15 PROVIDE ACCESS HATCH TO ATTIC SPACE - COORDINATE SUITABLE LOCATION WITH RAFTERS AND CLEARANCE ABOVE. ENSURE HATCH IS CONSTRUCTED WITH 3/4" PLYWOOD AND A MINIMUM OF 4" RIGID INSULATION ON MASTIC VAPOR BARRIER TO ATTIC SIDE OF HATCH. INSTALL WEATHERSTRIPPING GASKET TO UNDERSIDE OF HATCH LIP TO ENSURE PROPER SEAL. PROVIDE PERIMETER MOOD TRIM AROUND HATCH AND PAINT TO MATCH CEILING.

TYPICAL STRUCTURAL NOTES :

1. EXISTING SUBSOIL CAPACITY AND SIZE OF FOOTINGS MUST BE REVIEWED BY PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION.
2. FRAME INSPECTION IS REQUIRED BY PROFESSIONAL ENGINEER PRIOR TO ANY WALLS BEING FULLY ENCLOSED. CONTRACTOR TO COORDINATE MEETING ON SITE WITH ENGINEER.

GARAGE GASPROOFING CONSTRUCTION:

- ATTACHED GARAGES MUST BE COMPLETELY SEALED TO PREVENT INFILTRATION OF GASES INTO DWELLING.
1. PROVIDE 1/2" MBD, WITH MINIMUM TWO (2) COATS OF JOINT COMPOUND AT ALL WALLS ADJACENT TO DWELLING.
 2. CAULK JOINTS BETWEEN MBD, AND OTHER SURFACES WITH ACOUSTIC SEALANT.
 3. CAULK ALL PENETRATIONS IN ASSEMBLIES WITH ACOUSTIC SEALANT.
 4. DOORS BETWEEN GARAGE AND DWELLING SHALL BE TIGHT FITTING AND WEATHERSTRIPPED AND PROVIDED WITH A SELF-CLOSING DEVICE.
 5. GARAGE SLAB SHALL BE SLOPED TO DRAIN TO OUTDOORS.

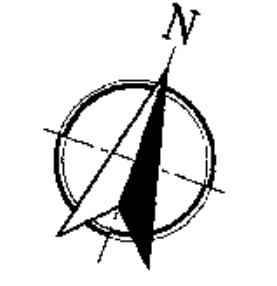
1 BASEMENT FLOOR PLAN
SCALE 1/4"=1'-0" AREA =3596 SQUARE FEET

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB SITE BEFORE PROCEEDING WITH WORK.

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DRAWINGS NOT TO BE SCALED.



ARCHITECTURAL

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QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the Building Code

Bradley Abbott 24558
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code

WB Abbott Design Ltd. 32428
FIRM NAME BCIN

STRUCTURAL

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NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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FIRM NAME BCIN

NO.	DATE	DESCRIPTION

REVISIONS

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T 416 . 944 . 2858
F 416 . 944 . 0643
200 - 542 Mt. Pleasant Rd.
TORONTO, ONTARIO M4S 2M7

PROJECT TITLE
WILLIS HOMES, LOT 12

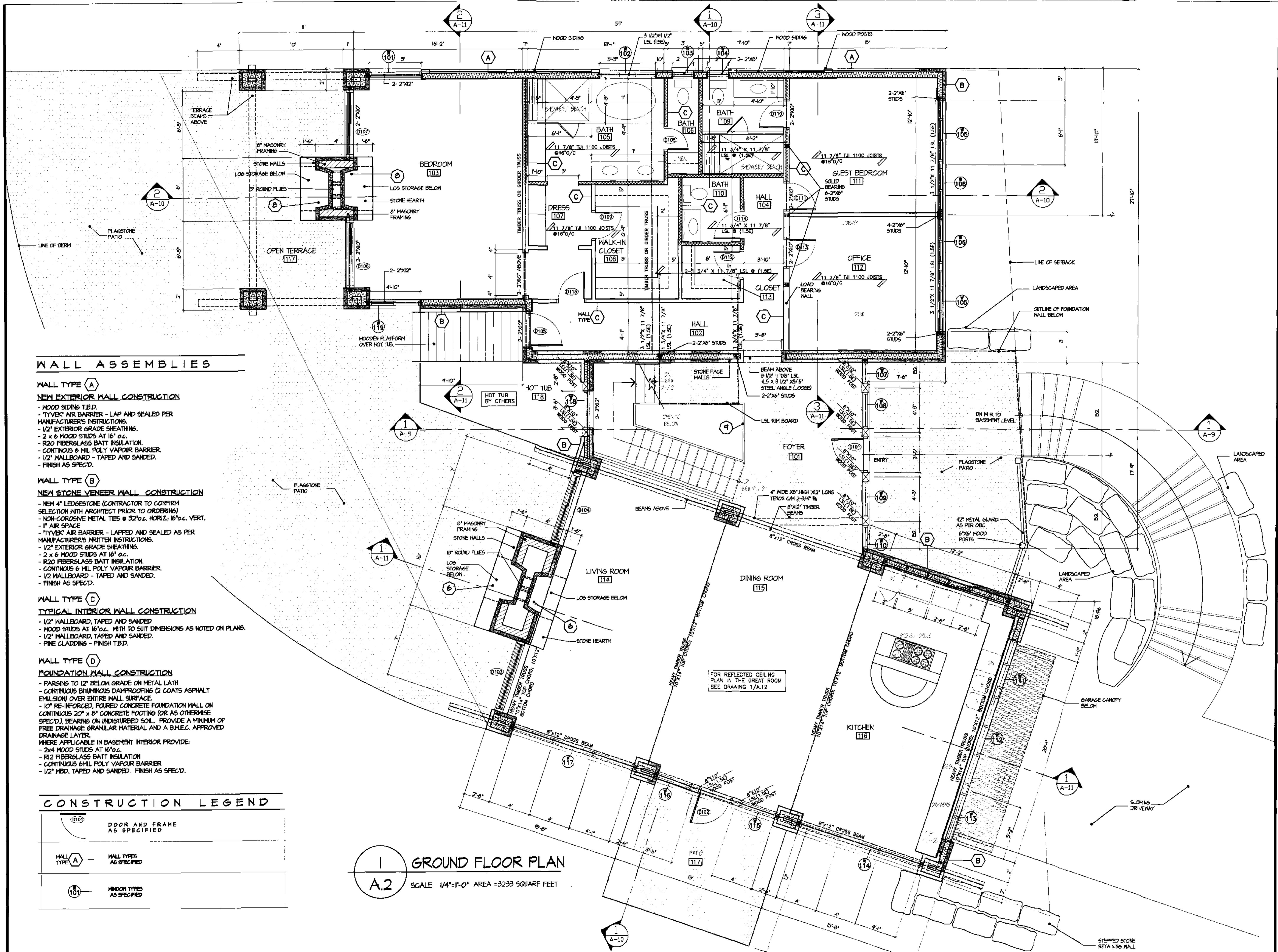
GEORGIAN BAY CLUB,
TOWN OF THE BLUE MOUNTAINS

SHEET TITLE
BASEMENT FLOOR PLAN

GEORGIAN BAY CLUB

DRAWN BY	DATE
HM	10 mar-06
CHECKED BY	DATE
WBA	10 mar-06
SCALE	FILE
1/4" = 1'-0"	XXXXXXX

PROJECT NO. XXXX DRAWING NO. A.01



WALL ASSEMBLIES

WALL TYPE (A)

NEW EXTERIOR WALL CONSTRUCTION

- WOOD SIDING T.B.D.
- TYVEK AIR BARRIER - LAP AND SEALED PER MANUFACTURER'S INSTRUCTIONS.
- 1/2" EXTERIOR GRADE SHEATHING.
- 2 x 6 WOOD STUDS AT 16" O.C.
- R-20 FIBERGLASS BATT INSULATION.
- CONTINUOUS 6 MIL POLY VAPOUR BARRIER.
- 1/2" WALLBOARD - TAPED AND SANDED.
- FINISH AS SPEC'D.

WALL TYPE (B)

NEW STONE VENEER WALL CONSTRUCTION

- NEW 4" LEDGESTONE (CONTRACTOR TO CONFIRM SELECTION WITH ARCHITECT PRIOR TO ORDERING)
- NON-CORROSIVE METAL TIES @ 32" O.C. HORIZ.; 16" O.C. VERT.
- 1" AIR SPACE
- TYVEK AIR BARRIER - LAPPED AND SEALED AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 1/2" EXTERIOR GRADE SHEATHING.
- 2 x 6 WOOD STUDS AT 16" O.C.
- R-20 FIBERGLASS BATT INSULATION.
- CONTINUOUS 6 MIL POLY VAPOUR BARRIER.
- 1/2" WALLBOARD - TAPED AND SANDED.
- FINISH AS SPEC'D.

WALL TYPE (C)

TYPICAL INTERIOR WALL CONSTRUCTION

- 1/2" WALLBOARD, TAPED AND SANDED
- WOOD STUDS AT 16" O.C. WITH TO SUIT DIMENSIONS AS NOTED ON PLANS.
- 1/2" WALLBOARD, TAPED AND SANDED.
- FINE CLADDING - FINISH T.B.D.

WALL TYPE (D)

FOUNDATION WALL CONSTRUCTION

- PARASIS TO 12" BELOW GRADE ON METAL LATH
- CONTINUOUS BITUMINOUS DAMPROOFING (2 COATS ASPHALT EMULSION) OVER ENTIRE WALL SURFACE.
- 10" RE-INFORCED, POURED CONCRETE FOUNDATION WALL ON CONTINUOUS 20" x 8" CONCRETE FOOTINGS (OR AS OTHERWISE SPEC'D), BEARING ON UNDISTURBED SOIL. PROVIDE A MINIMUM OF FREE DRAINAGE GRANULAR MATERIAL AND A B.M.E.C. APPROVED DRAINAGE LAYER.
- WHERE APPLICABLE IN BASEMENT INTERIOR PROVIDE:
 - 2x4 WOOD STUDS AT 16" O.C.
 - R-12 FIBERGLASS BATT INSULATION
 - CONTINUOUS 6MIL POLY VAPOUR BARRIER
 - 1/2" HBD. TAPED AND SANDED. FINISH AS SPEC'D.

CONSTRUCTION LEGEND

	DOOR AND FRAME AS SPECIFIED
	WALL TYPE (A) AS SPECIFIED
	WINDOW TYPE AS SPECIFIED

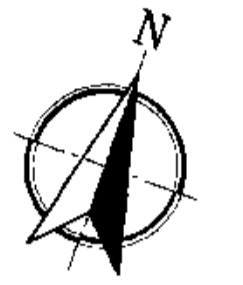
1 GROUND FLOOR PLAN
A.2 SCALE 1/4"=1'-0" AREA = 3233 SQUARE FEET

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DRAWINGS NOT TO BE SCALED.



ARCHITECTURAL
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QUALIFICATION INFORMATION
 Required unless design is exempt under 2.17.4.1 of the Building Code

NAME	SIGNATURE	BCR
Bradley Abbott		24508
REGISTRATION INFORMATION		
Required unless design is exempt under 2.17.4.1 of the Building Code		
FIRM NAME		BCR
WB Abbott Design Ltd.		52478

STRUCTURAL
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REGISTRATION INFORMATION		
Required unless design is exempt under 2.17.4.1 of the Building Code		
FIRM NAME		BCR

NO.	DATE	DESCRIPTION
REVISIONS		

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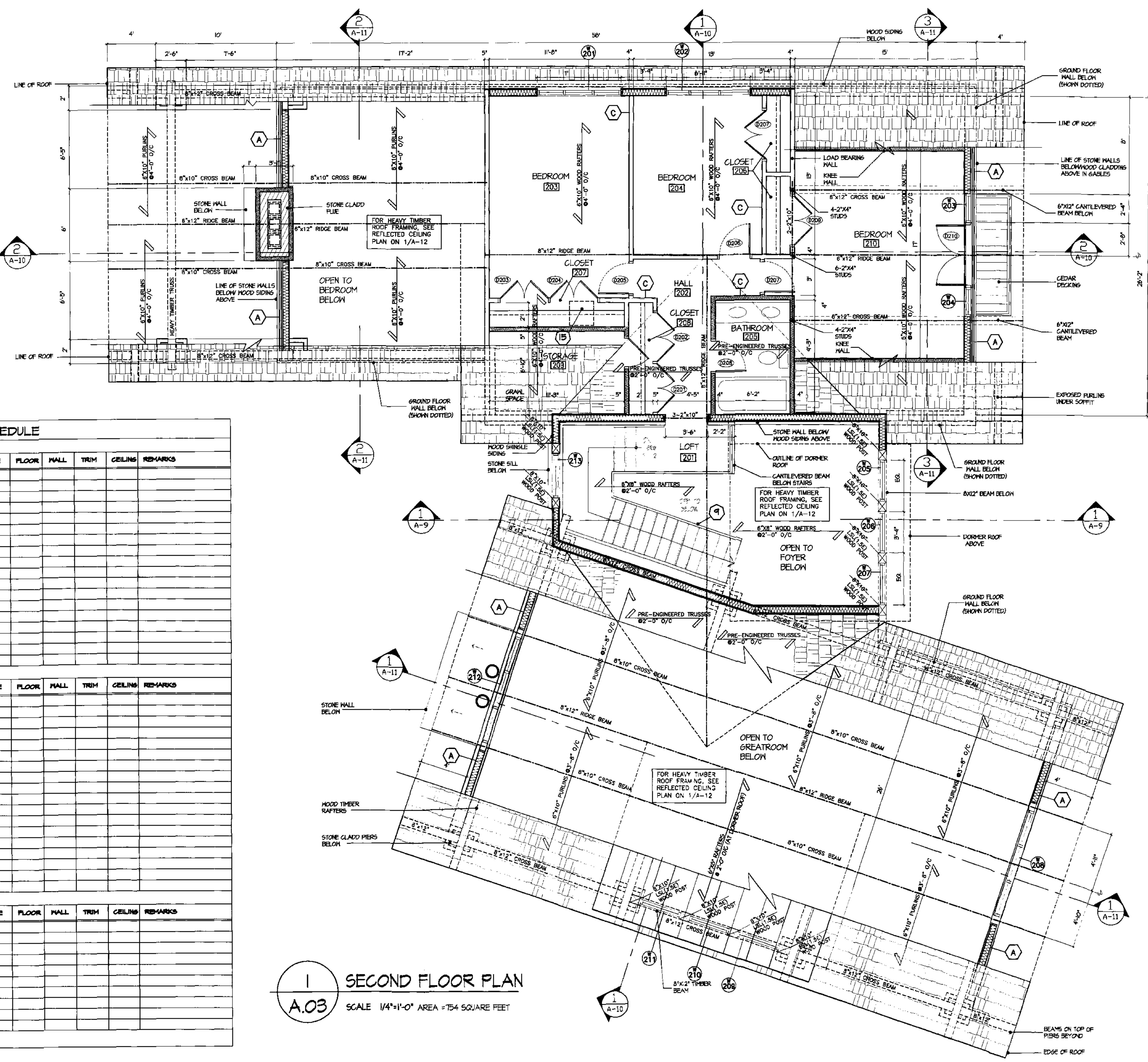
ABBOTT DESIGN LTD.
 7 416 - 944 - 2898
 F 416 - 944 - 0643
 300 - 542 MC PLEASANT RD.
 TORONTO, ONTARIO M4S 2M7

PROJECT TITLE
WILLIS HOMES, LOT 12
 GEORGIAN BAY CLUB,
 TOWN OF THE BLUE MOUNTAINS

SHEET TITLE
GROUND FLOOR PLAN
 GEORGIAN BAY CLUB

DRAWN BY	DATE
HM	10 mar-06
CHECKED BY	DATE
WBA	10 mar-06
SCALE	FILE
1/4" = 1'-0"	XXXXXXX

PROJECT NO. DRAWING NO.
XXXX A.02



ROOM FINISH SCHEDULE

BASEMENT LEVEL							
ROOM	NUMBER	BASE	FLOOR	WALL	TRIM	CEILING	REMARKS
STAIRS	B01						
GAMES ROOM	B02						
FURNACE	B03						
SANNA	B04						
BENCH CHANGE	B05						
BATH ROOM	B06						
BUNK ROOM	B07						
HALL WAY	B08						
HOME THEATRE	B09						
WINE STORAGE	B10						
MUD ROOM	B11						
HALLWAY	B12						
SKII TUNING WORKSHOP	B13						
FURNACE	B14						
DOUBLE CAR GARAGE	B15						
BIKES	B16						
CLOSET	B17						
STORAGE	B18						
GROUND LEVEL							
ROOM	NUMBER	BASE	FLOOR	WALL	TRIM	CEILING	REMARKS
FOYER	101						
HALL	102						
BEDROOM	103						
HALLWAY	104						
BATHROOM	105						
BATHROOM	106						
DRESSING	107						
WALK-IN CLOSET	108						
BATHROOM	109						
BATHROOM	110						
GUEST BEDROOM	111						
OFFICE	112						
STORAGE	113						
LIVING ROOM	114						
DINING ROOM	115						
KITCHEN	116						
OUTDOOR PATIO	117						
EXTERIOR HOT TUB	118						
SECOND LEVEL							
ROOM	NUMBER	BASE	FLOOR	WALL	TRIM	CEILING	REMARKS
LOFT	201						
HALL	202						
BEDROOM	203						
BEDROOM	204						
BATHROOM	205						
CLOSET	206						
CLOSET	207						
CLOSET	208						
STORAGE	209						
BEDROOM	210						

1 SECOND FLOOR PLAN
A.03 SCALE 1/4"=1'-0" AREA = 754 SQUARE FEET

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 DRAWINGS NOT TO BE SCALED.



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QUALIFICATION INFORMATION
 Required unless design is exempt under 2.17.5.1 of the Building Code
 NAME: Shirley Abbott SIGNATURE: [Signature] BCIN: 24548
 REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.4.1 of the Building Code
 WB Abbott Design Ltd. 32428
 FIRM NAME: BCIN

STRUCTURAL
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QUALIFICATION INFORMATION
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 NAME: [Blank] SIGNATURE: [Blank] BCIN: [Blank]
 REGISTRATION INFORMATION
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 FIRM NAME: [Blank] BCIN: [Blank]

NO.	DATE	DESCRIPTION

REVISIONS

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 ABBOTT DESIGN LTD.
 T 416-944-2898
 F 416-944-0643
 200-542 Mt. Pleasant Rd.
 TORONTO, ONTARIO M4S 2M7

PROJECT TITLE
WILLIS HOMES, LOT 12
 GEORGIAN BAY CLUB,
 TOWN OF THE BLUE MOUNTAINS

SHEET TITLE
SECOND FLOOR PLAN
 GEORGIAN BAY CLUB

DRAWN BY	DATE
HM	10 mar-06
CHECKED BY	DATE
WBA	10 mar-06
SCALE	FILE
1/4" = 1'-0"	XXXXXXX

PROJECT NO.	DRAWING NO.
XXXX	A.03

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DRAWINGS NOT TO BE SCALED.



PROJECT NORTH

ARCHITECTURAL
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QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the Building Code

NAME: Bradley Abbott 2456 BCN

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code

NAME: WB Abbott Design Ltd 32428 BCN

FIRM NAME: WB Abbott Design Ltd

STRUCTURAL
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QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the Building Code

NAME: [Blank] [Blank] BCN

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code

NAME: [Blank] [Blank] BCN

FIRM NAME: [Blank]

NO. DATE DESCRIPTION

REVISIONS

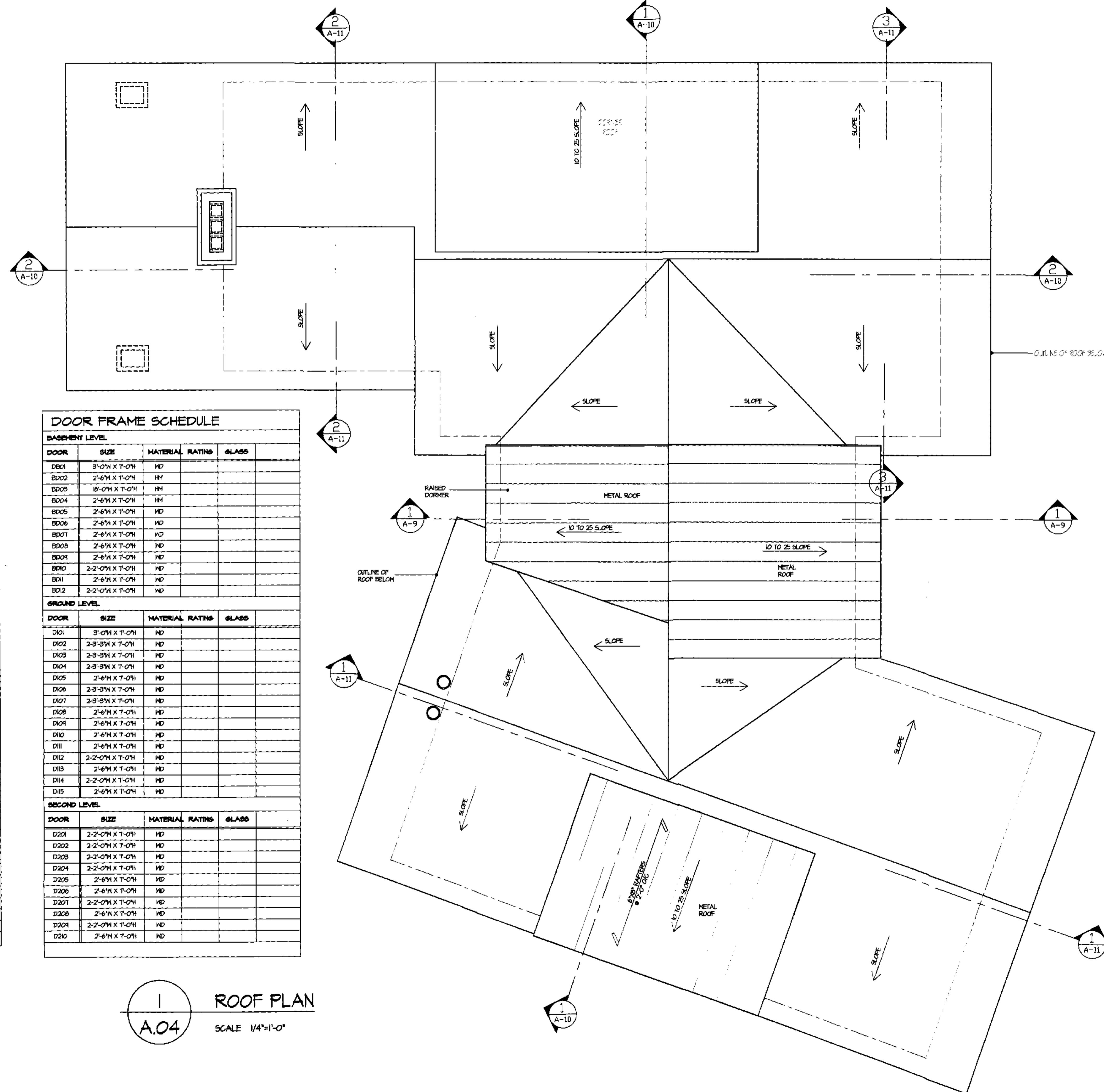


PROJECT TITLE
WILLIS HOMES, LOT 12
GEORGIAN BAY CLUB,
TOWN OF THE BLUE MOUNTAINS

SHEET TITLE
**THIRD FLOOR
ROOF PLAN**
GEORGIAN BAY CLUB

DRAWN BY: HM DATE: 10 mar-06
CHECKED BY: WBA DATE: 10 MAR-06
SCALE: 1/4" = 1'-0" FILE: XXXXXX

PROJECT NO. XXXX DRAWING NO. A.04



WINDOW FRAME SCHEDULE

BASMENT LEVEL

WINDOW	SIZE	FRAME	TYPE	GLASS
WB01	4'-10 1/2" X 2'-6"	ALUMINUM		
WB02	7'-0" X 2'-6"	ALUMINUM		
WB03	7'-0" X 2'-6"	ALUMINUM		
WB04	1'-6" X 7'-0"	ALUMINUM		
WB05	1'-6" X 7'-0"	ALUMINUM		

GROUND LEVEL

WINDOW	SIZE	FRAME	TYPE	GLASS
W01	4'-10 1/2" X 9'-0"	ALUMINUM	A	
W02	4'-10 1/2" X 4'-6"	ALUMINUM		
W03	2'-6" X 4'-6"	ALUMINUM		
W04	2'-6" X 4'-6"	ALUMINUM		
W05	4'-10 1/2" X 9'-0"	ALUMINUM		
W06	7'-0" X 9'-0"	ALUMINUM		
W07	7'-0" X 9'-0"	ALUMINUM		
W08	4'-10 1/2" X 9'-0"	ALUMINUM		
W09	4'-10 1/2" X 9'-0"	ALUMINUM		
W10	2'-6" X 9'-0"	ALUMINUM		
W11	2'-6" X 9'-0"	ALUMINUM		
W12	4'-0" X 9'-0"	ALUMINUM		
W13	12'-1 1/2" X 9'-0"	ALUMINUM		
W14	2'-6" X 9'-0"	ALUMINUM		
W15	2'-6" X 9'-0"	ALUMINUM		
W16	12'-1 1/2" X 9'-0"	ALUMINUM		
W17	5'-6" X 9'-10"	ALUMINUM		
W18	4'-10 1/2" X 9'-0"	ALUMINUM		

SECOND LEVEL

WINDOW	SIZE	FRAME	TYPE	GLASS
W201	8'-0" X 5'-0"	ALUMINUM	A	
W202	8'-0" X 5'-0"	ALUMINUM		
W203	3'-8 1/2" X 8'-6"	ALUMINUM		
W204	2'-6" X 8'-6"	ALUMINUM		
W205	2'-6" X 8'-6"	ALUMINUM		
W206	2'-6" X 8'-6"	ALUMINUM		
W207	4'-0" X 8'-6"	ALUMINUM		
W208				
W209				
W210				
W211				
W212				
W213				

DOOR FRAME SCHEDULE

BASMENT LEVEL

DOOR	SIZE	MATERIAL	RATING	GLASS
DB01	3'-0" X 7'-0"	MD		
DB02	2'-6" X 7'-0"	MD		
DB03	18'-0" X 7'-0"	MD		
DB04	2'-6" X 7'-0"	MD		
DB05	2'-6" X 7'-0"	MD		
DB06	2'-6" X 7'-0"	MD		
DB07	2'-6" X 7'-0"	MD		
DB08	2'-6" X 7'-0"	MD		
DB09	2'-6" X 7'-0"	MD		
DB10	2'-2'-0" X 7'-0"	MD		
DB11	2'-6" X 7'-0"	MD		
DB12	2'-2'-0" X 7'-0"	MD		

GROUND LEVEL

DOOR	SIZE	MATERIAL	RATING	GLASS
D101	3'-0" X 7'-0"	MD		
D102	2'-3'-3" X 7'-0"	MD		
D103	2'-3'-3" X 7'-0"	MD		
D104	2'-3'-3" X 7'-0"	MD		
D105	2'-6" X 7'-0"	MD		
D106	2'-3'-3" X 7'-0"	MD		
D107	2'-3'-3" X 7'-0"	MD		
D108	2'-6" X 7'-0"	MD		
D109	2'-6" X 7'-0"	MD		
D110	2'-6" X 7'-0"	MD		
D111	2'-6" X 7'-0"	MD		
D112	2'-2'-0" X 7'-0"	MD		
D113	2'-6" X 7'-0"	MD		
D114	2'-2'-0" X 7'-0"	MD		
D115	2'-6" X 7'-0"	MD		

SECOND LEVEL

DOOR	SIZE	MATERIAL	RATING	GLASS
D201	2'-2'-0" X 7'-0"	MD		
D202	2'-2'-0" X 7'-0"	MD		
D203	2'-2'-0" X 7'-0"	MD		
D204	2'-2'-0" X 7'-0"	MD		
D205	2'-6" X 7'-0"	MD		
D206	2'-6" X 7'-0"	MD		
D207	2'-2'-0" X 7'-0"	MD		
D208	2'-6" X 7'-0"	MD		
D209	2'-2'-0" X 7'-0"	MD		
D210	2'-6" X 7'-0"	MD		

1
A.04 **ROOF PLAN**
SCALE 1/4"=1'-0"

MATERIALS LEGEND

- ① SHINGLES TO SLOPED ROOF AREA TO BE 18" LONG "BLUE LABEL" TAPER SAHM WESTERN RED CEDAR SHINGLES WITH 1 1/2" EXPOSURE USING 5/8" BUTT EDGE OR 3 1/2" EXPOSURE WITH 3/8" BUTT EDGE.
- ② GABLE-END WALL APPLICATION SHINGLE COVERAGE TO BE 18" LONG "RED LABEL" TAPER SAHM WESTERN RED CEDAR SHINGLES WITH 1 1/2" EXPOSURE USING 5/8" BUTT EDGE OR 3 1/2" EXPOSURE WITH 3/8" BUTT EDGE.
- ③ RESERVED
- ④ RESERVED
- ⑤ DECORATIVE STONE VENER T.B.A.
- ⑥ DECORATIVE COPING STONE APPLIED TO TOP COURSE OF STONE PIERS. SECURE WITH PURPOSE DESIGNED ADHESIVE.
- ⑦ 10 x 10 #12 DOUGLAS FIR SOLID SAHM THINER CONTINUOUS VERTICAL PRINCIPLE POST C/M MORTISED OPENINGS AT ALL HORIZONTAL CONNECTIONS. ALL MEMBERS SHALL BE COATED WITH A PURPOSE DESIGNED PRODUCT TO REDUCE SPLITTING AND THE EFFECTS OF WEATHER ELEMENTS. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO ARCHITECT & ENGINEER FOR APPROVAL PRIOR TO FABRICATION. COORDINATE WITH STRUCTURAL REQUIREMENTS. REFER TO CONNECTION DETAILS ON SHEET A.B.
- ⑧ 10 x 10 #12 DOUGLAS FIR SOLID SAHM THINER HORIZONTAL CONNECTING GIRT MEMBER C/M TENSION ENDS. CONNECT TO MORTISED OPENINGS OF VERTICAL POSTS WITH SOLID WOOD PEGS. ALL MEMBERS SHALL BE COATED WITH A PURPOSE DESIGNED PRODUCT TO REDUCE SPLITTING AND THE EFFECTS OF WEATHER ELEMENTS. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO ARCHITECT & ENGINEER FOR APPROVAL PRIOR TO FABRICATION. COORDINATE WITH STRUCTURAL REQUIREMENTS. REFER TO CONNECTION DETAILS ON SHEET A.B.
- ⑨ 5" WIDE PRE-FINISHED, SITE FORMED METAL EAVE TROUGH - CONTINUOUS AND SEAMLESS AS SHOWN. BRACE AND SECURE TO FASCIA WITH PURPOSE DESIGNED FASTENERS AT 48" O.C. PROVIDE A WATER-TIGHT SEAL AT ALL CONNECTIONS. MATCH EXISTING COLOUR ON SITE.
- ⑩ 2" x 4" PRE-FINISHED METAL RAIN WATER LEADERS C/M FORMED SITTER. ATTACH AND SECURE R/W TO WALL WITH PURPOSE DESIGNED ANCHORS AND STRAPS AT 36" O.C. ANCHOR SHALL BE SECURED THROUGH SOLID WOOD BLOCKING IN WALL. PROVIDE CONCRETE SPLASH PAD AT BASE - SLOPED AWAY FROM BUILDING TO ENSURE PROPER DRAINAGE DISPERSAL.
- ⑪ PRE-FINISHED ALUMINUM FLASHING TO BE INSTALLED BENEATH JOINTED MASONRY SILLS, OVER HEADS OF DOORS AND WINDOWS, EAVE OVERHANGS BELOW SOFFIT, AROUND CHIMNEY BASE AND ANY OTHER ITEM INTERSECTING THE ROOF PLANE. COLOUR T.B.A.
- ⑫ PRE-FINISHED ALUMINUM FASCIA - COLOUR TO BE CHOSEN.
- ⑬ PRE-FINISHED ROOF VENT C/M BIRD SCREEN AND SNOWWATER DEFLECTORS. MINIMUM VENTED OPENING = 144 SQ. INCHES. COLOUR T.B.A.
- ⑭ GABLE END LOUVER VENT - COLOUR T.B.A.
- ⑮ PERFORATED, PRE-FINISHED METAL SOFFIT, COLOUR TO BE CHOSEN.

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DRAWINGS NOT TO BE SCALED.

ARCHITECTURAL

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QUALIFICATION INFORMATION
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Broday Abbott 24508

NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code

WB Abbott Design Ltd. 32428

FIRM NAME BCIN

STRUCTURAL

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FIRM NAME BCIN

NO. DATE DESCRIPTION

REVISIONS



abbott
INSPIRED HOME DESIGNS

ABBOTT DESIGN LTD.
T 416 944 2898
F 416 944 0643
200 - 542 Mt. PLEASANT RD.
TORONTO, ONTARIO M4S 2M7

PROJECT TITLE

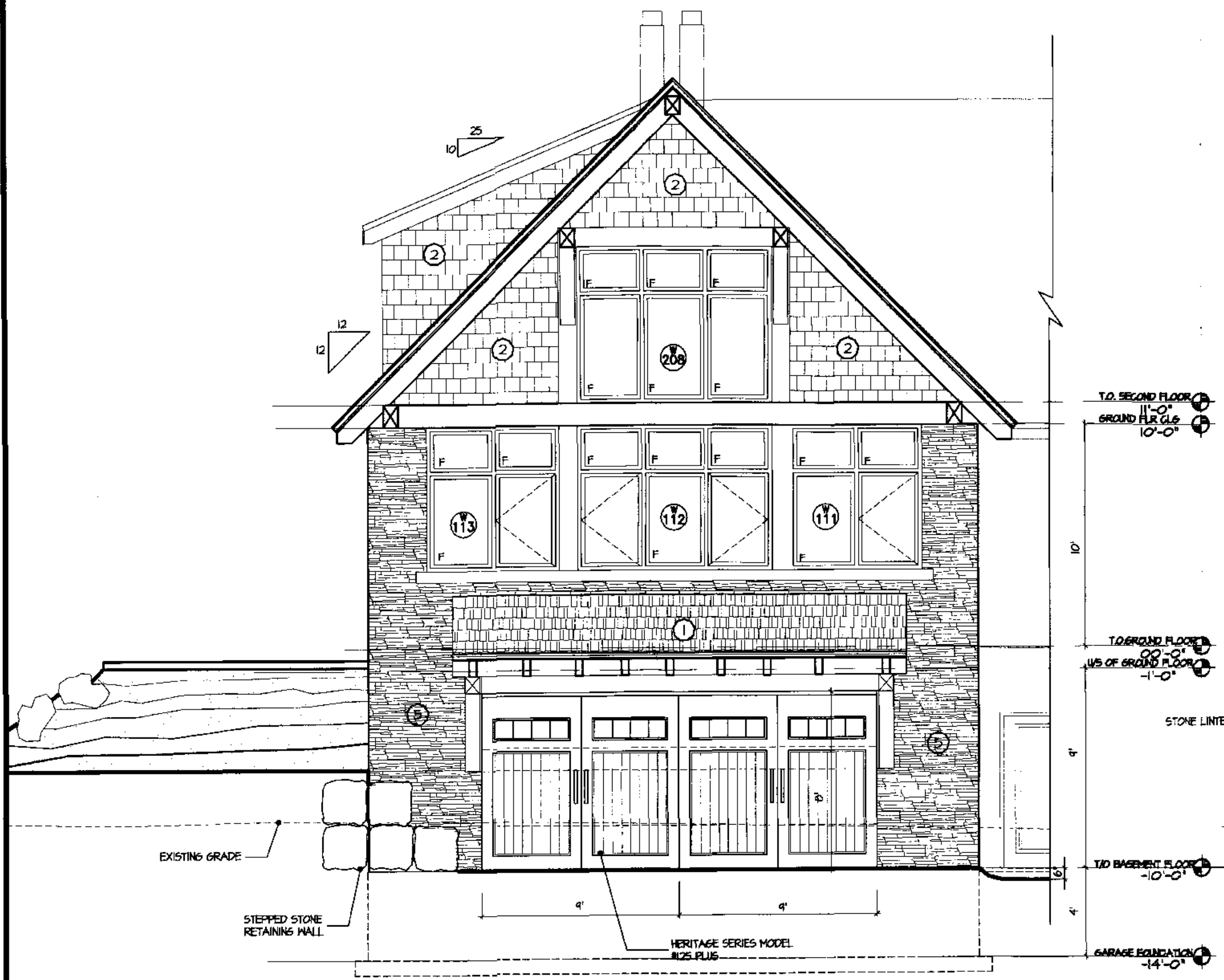
WILLIS HOMES, LOT 12
GEORGIAN BAY CLUB,
TOWN OF THE BLUE MOUNTAINS

SHEET TITLE

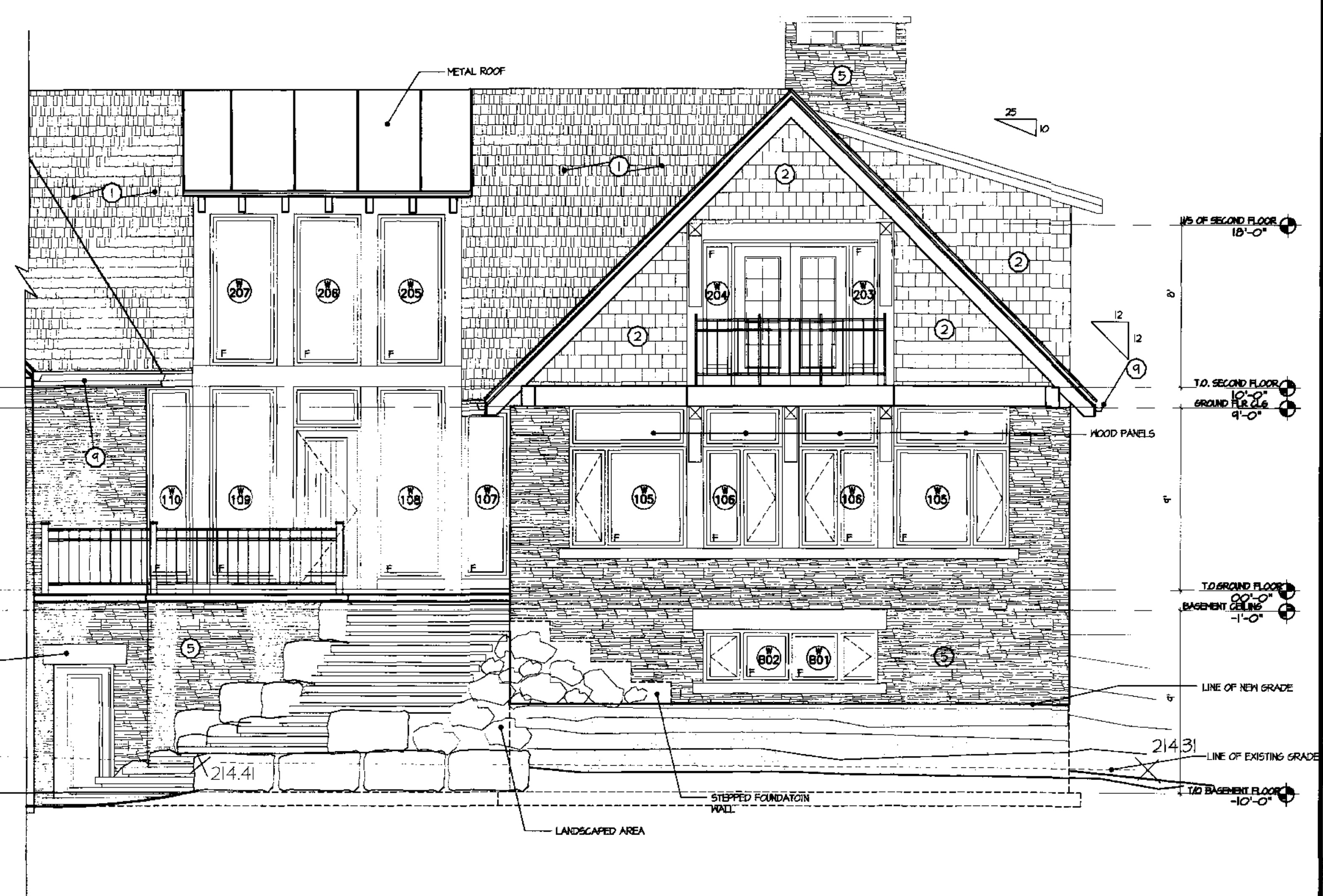
EAST ELEVATION
GEORGIAN BAY CLUB

DRAWN BY	DATE
HM	10 MAR-06
CHECKED BY	DATE
WBA	10 MAR-06
SCALE	FILE
1/4" = 1'-0"	XXXXXX

PROJECT NO. **XXXX** DRAWING NO. **A.05**



1 PARTIAL EAST ELEVATION
SCALE 1/4"=1'-0"



2 PARTIAL EAST ELEVATION
SCALE 1/4"=1'-0"

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QUALIFICATION INFORMATION
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NAME: Bradley Abbott 24508
SIGNATURE: [Signature]
BCIN: [Blank]

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code

FIRM NAME: WB Abbott Design Ltd. 32428
BCIN: [Blank]

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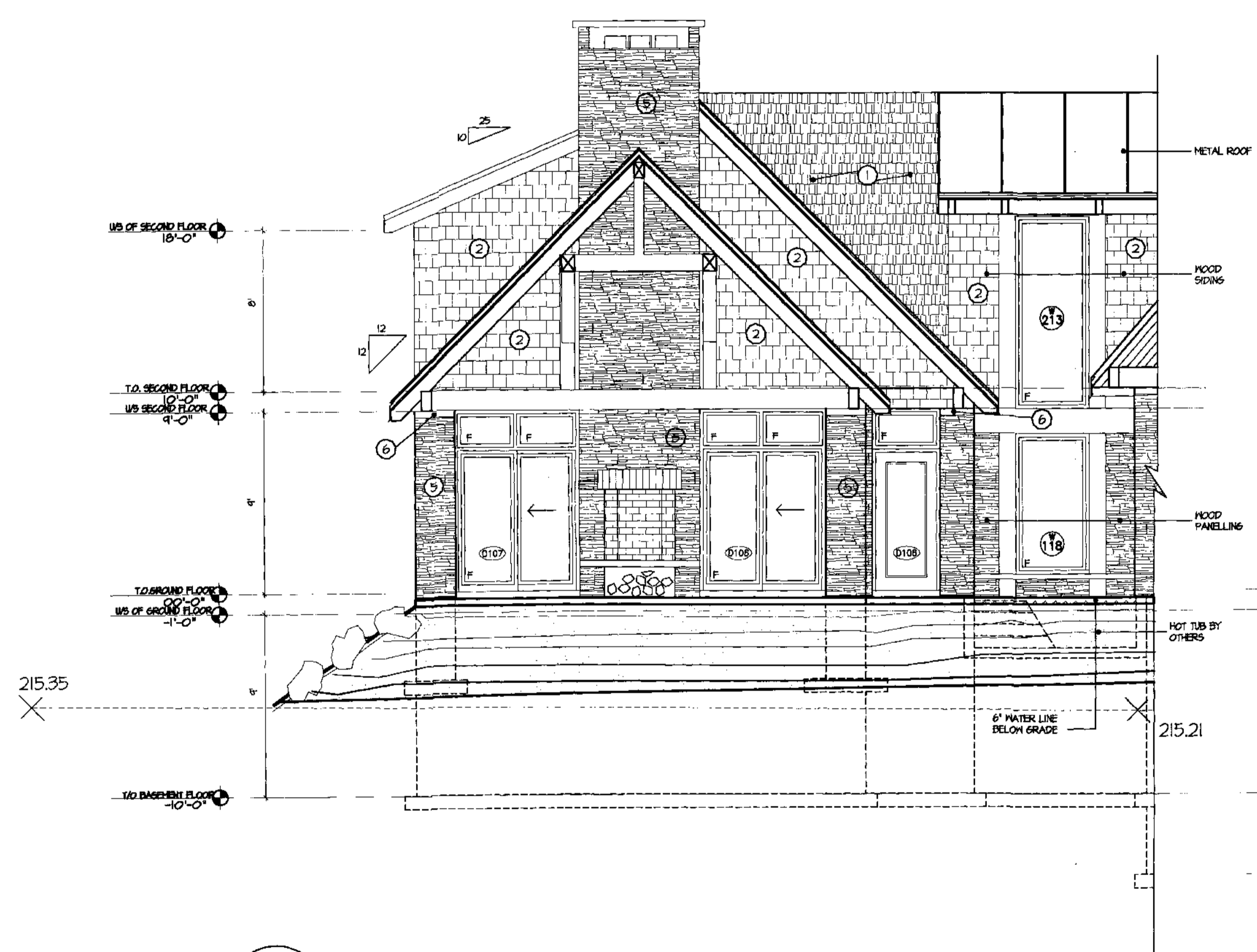
NO.	DATE	DESCRIPTION
REVISIONS		



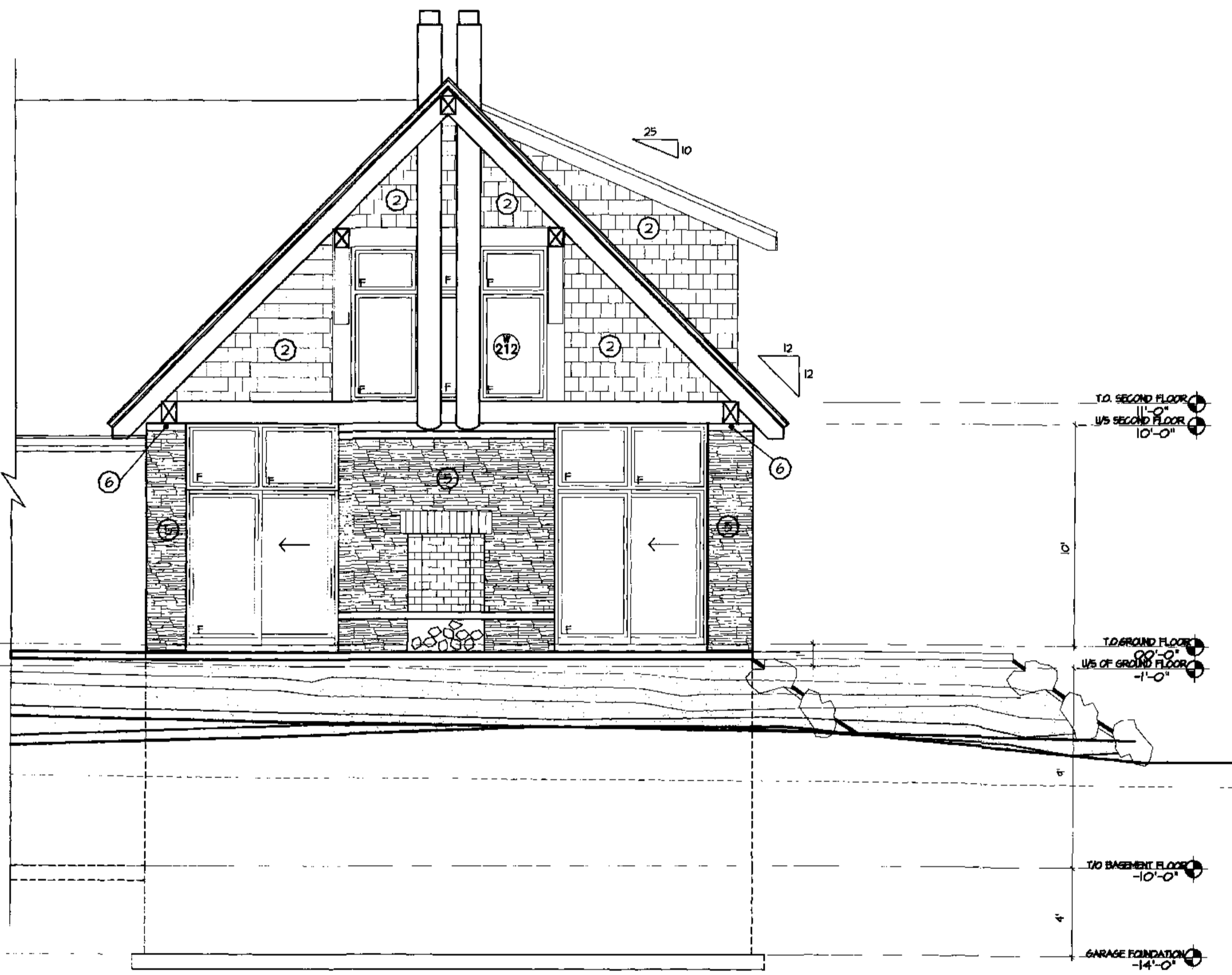
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200 - 542 Mt. Pleasant Rd.
TORONTO, ONTARIO M4S 2M7

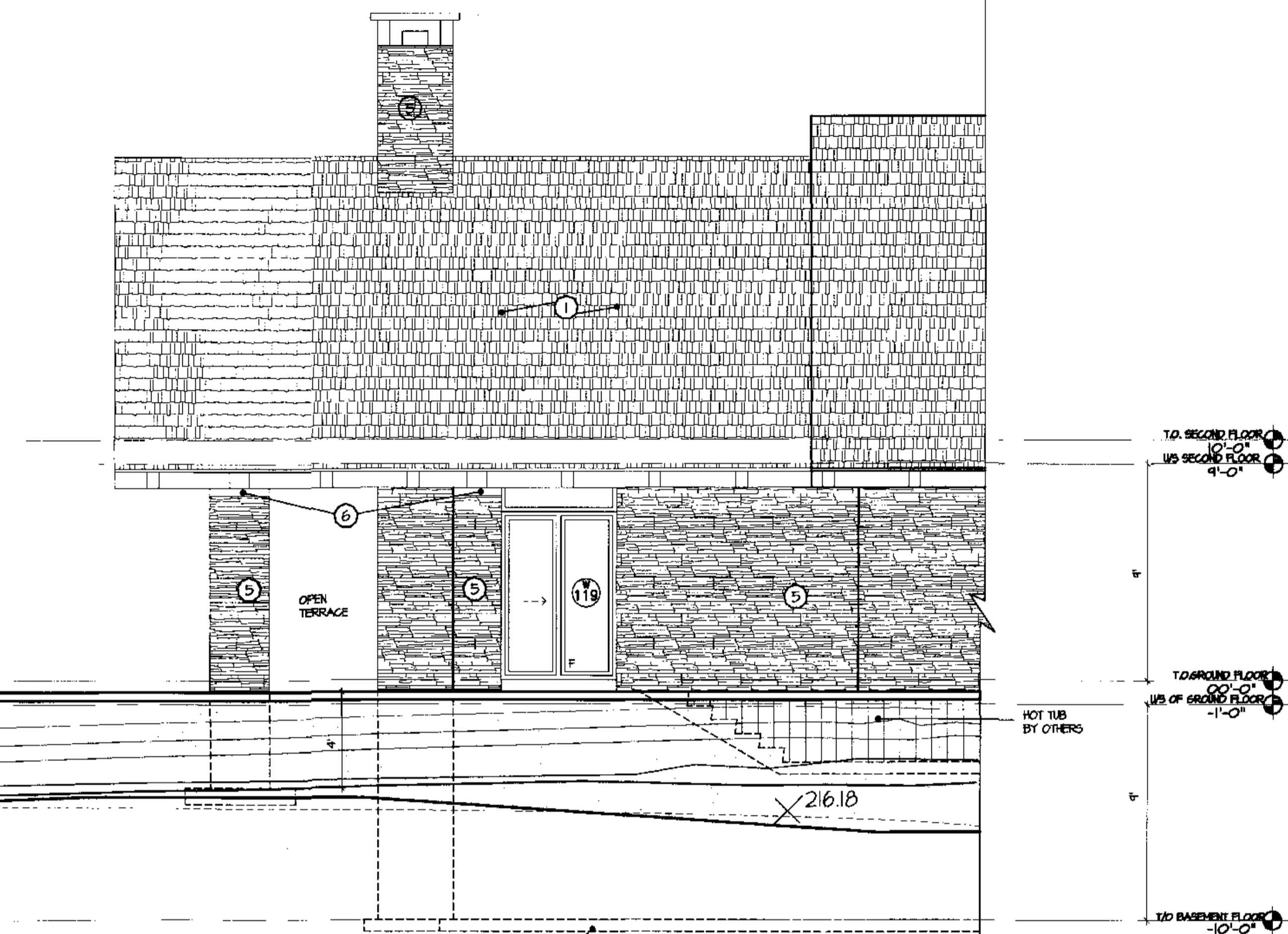
PROJECT TITLE	
WILLIS HOMES, LOT 12	
GEORGIAN BAY CLUB, TOWN OF THE BLUE MOUNTAINS	
SHEET TITLE	
WEST ELEVATION	
GEORGIAN BAY CLUB	
DRAWN BY	DATE
HM	10 MAR-06
CHECKED BY	DATE
WEA	10 MAR-06
SCALE	FILE
1/4" = 1'-0"	XXXXXXX
PROJECT NO.	DRAWING NO.
XXXX	A.06



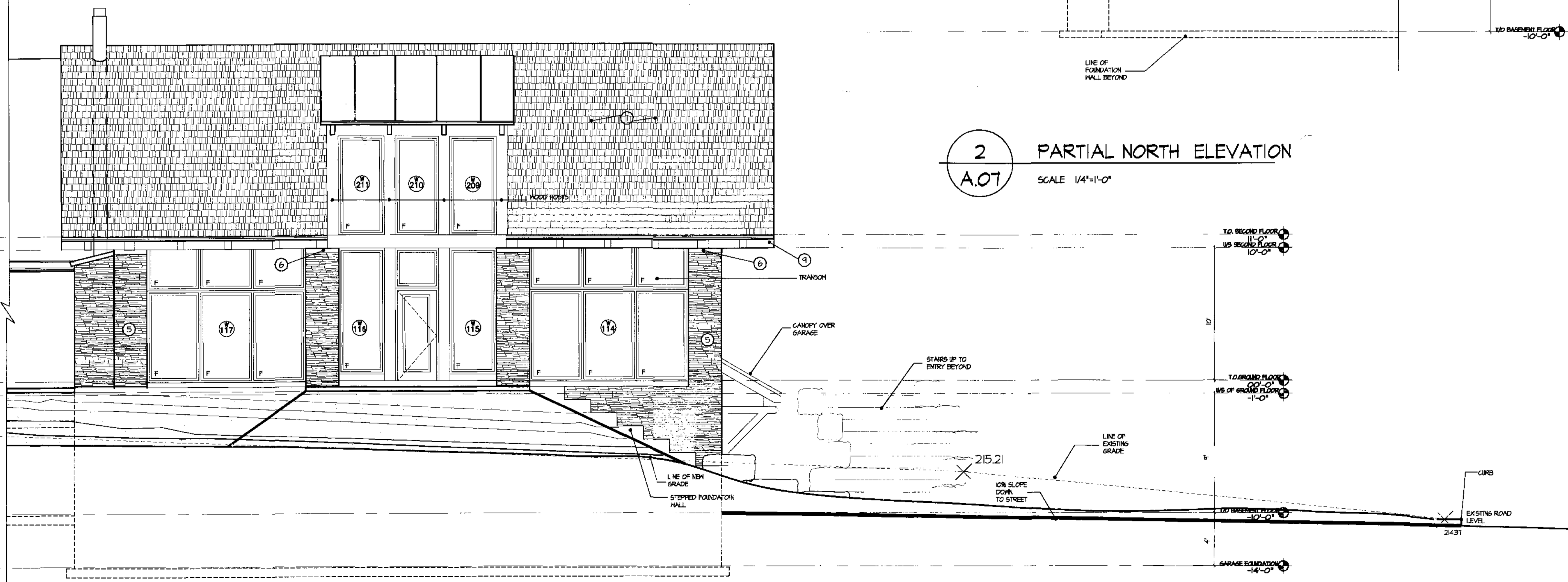
1 PARTIAL WEST ELEVATION
A.06 SCALE 1/4"=1'-0"



2 PARTIAL WEST ELEVATION
A.06 SCALE 1/4"=1'-0"



2 PARTIAL NORTH ELEVATION
A.07 SCALE 1/4"=1'-0"



1 PARTIAL NORTH ELEVATION
A.07 SCALE 1/4"=1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB SITE BEFORE PROCEEDING WITH WORK.

LATEST APPROVED DRAWINGS ONLY TO BE USED FOR CONSTRUCTION.

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

DRAWINGS NOT TO BE SCALED.

ARCHITECTURAL
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the Building Code

NAME: Bradley Abbott SIGNATURE: [Signature] BCIN: 24555

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code

FIRM NAME: WB Abbott Design Ltd. BCIN: 32428

STRUCTURAL
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QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the Building Code

NAME: [Signature] SIGNATURE: [Signature] BCIN: [Signature]

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code

FIRM NAME: [Signature] BCIN: [Signature]

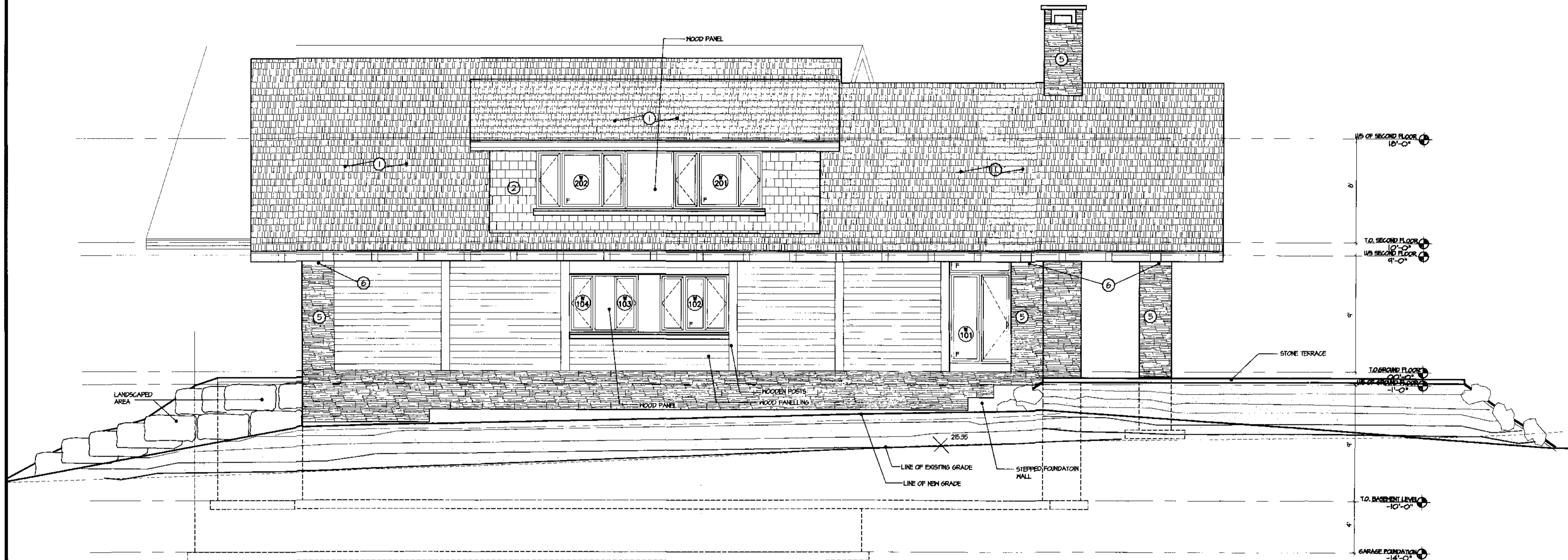
NO.	DATE	DESCRIPTION
REVISIONS		

PROJECT TITLE
WILLIS HOMES, LOT 12
GEORGIAN BAY CLUB,
TOWN OF THE BLUE MOUNTAINS

SHEET TITLE
NORTH ELEVATION
GEORGIAN BAY CLUB

DRAWN BY	DATE
HW	10 MAR-06
CHECKED BY	DATE
WBA	10 MAR-06
SCALE	FILE
1/4" = 1'-0"	XXXXXXX

PROJECT NO.	DRAWING NO.
XXXX	A.07



1
A.08

SOUTH ELEVATION

SCALE 1/4"=1'-0"

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QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the Building Code

Brodley Abbott 24552

NAME SIGNATURE RCIN

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code

WB Abbott Design Ltd. 32478

FIRM NAME BCIN

STRUCTURAL
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QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the Building Code

NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code

FIRM NAME BCIN

NO.	DATE	DESCRIPTION
REVISIONS		

abbott
INSPIRED HOME DESIGNS

ABBOTT DESIGN LTD.
T 416 . 944 . 2898
F 416 . 944 . 0543
200 - 542 Mt. PLEASANT RD.
TORONTO, ONTARIO M4S 2M7

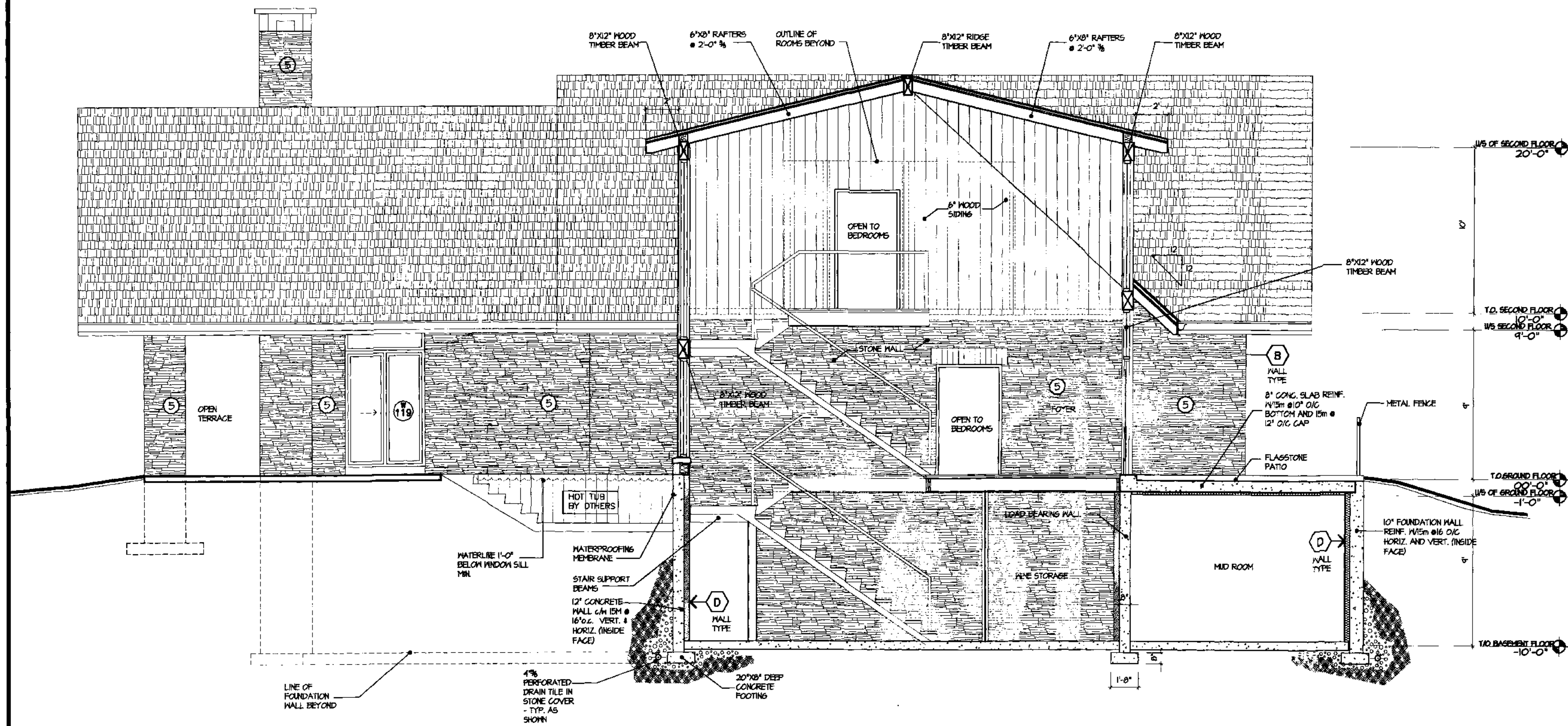
PROJECT TITLE
WILLIS HOMES, LOT 12
GEORGIAN BAY CLUB,
TOWN OF THE BLUE MOUNTAINS

SHEET TITLE
SOUTH ELEVATION

GEORGIAN BAY CLUB

DRAWN BY HM	DATE 10 MAR-06
CHECKED BY WBA	DATE 10 MAR-06
SCALE 1/4" = 1'-0"	FILE XXXXXXX

PROJECT NO. **XXXX** DRAWING NO. **A.08**



1 SECTION THRU FOYER STAIRS
A.09 SCALE 1/4"=1'-0"

STRUCTURAL NOTES:
EXIST'G ROOF, WALL & FLOOR FRAMING ALONG WITH SUBSOIL CONDITIONS TO BE REVIEWED AND VERIFIED BY PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION
ASSUMED SUBSOIL CAPACITY: 150KPA

HORIZONTAL ASSEMBLIES

TYPICAL ROOF CONSTRUCTION:

- NEW CEDAR SHINGLES AS SPEC'D.
- SELF-ADHERING ICE & WATER SHIELD OVER ENTIRE ROOF SURFACE
- METAL DRIPEDGE BELOW SHINGLES - COLOUR T.B.D.
- 1/2" PLYWOOD SHEATHING c/m 1" CLIPS
- ROOF FRAMING AS SPEC'D. COORD. WITH TIMBER SUPPLIER AS REQ'D.
- RIGID INSULATION c/m STAGGERED JOINTS OVER CONTINUOUS VAPOUR BARRIER - LAP AND SEAL ALL JOINTS
- T&G WOOD CLADDING TO UNDERSIDE OF STRUCTURE AS SPEC'D.
- FINISH AS SPEC'D.

BASEMENT SLAB CONSTRUCTION:

- FINISH FLOOR AS SPECIFIED.
- 4" POURED CONCRETE SLAB, SMOOTH TROWLED (AS PER STRUCTURAL SPECIFICATIONS) c/m 6x6x6/6 M.U.M. REINFORCEMENT.
- 6 MIL POLY VAPOUR BARRIER
- MINIMUM 6" GRANULAR 'A' BASE COMPACTED TO 98% S.P.D. (AS PER 9.16.2 OF O.B.C.)
- SLOPE TO DRAIN WHERE APPLICABLE.

NEW GARAGE SLAB CONSTRUCTION:

- 5" CONCRETE SLAB, SMOOTH TROWLED WITH A MINIMUM COMPRESSIVE STRENGTH OF 32MPA c/m 6x6x6/6 M.U.M. REINFORCEMENT. SLOPE TO DRAIN.
- 6 MIL POLY VAPOUR BARRIER
- MINIMUM 6" COMPACTED GRANULAR 'A' FILL COMPACTED TO 98% S.P.D. ON UNDISTURBED SOIL.

TYPICAL FLOOR CONSTRUCTION:

- FLOOR FINISH AS SPEC'D. ON 3/4" PLYWOOD SUBFLOOR, SCREED & BLUE c/m STAGGERED JOINTS.
- 6 MIL POLY VAPOUR BARRIER - SEAL ALL JOINTS.
- FLOOR JOISTS AS SPEC'D. c/m CROSSBRIDGING AS PER MANUFACTURER'S INSTRUCTIONS.
- 5/8" U.L. RATED HBD. TO UNDERSIDE OF JOISTS, TAPED & SANDED.
- FINISH AS SPEC'D.

FRONT PORCH/PATIO SLAB CONSTRUCTION:

- FLAGSTONE (T.B.A.) RANDOM CUT PATTERN LAID ON CEMENT/SAND LEVELING BASE
- 5" POURED CONCRETE STRUCTURAL SLAB WITH A MINIMUM COMPRESSIVE STRENGTH OF 32MPA (5-6% AIR ENTRAINMENT) c/m STEEL REINFORCING AS SPEC'D. BY STRUCTURAL
- SPRAY 'CODE-BLUE' WATERPROOFING BY ADVANCED COATING INC. (416-410-0814). INSTALL COATING AS PER MANUFACTURER'S WRITTEN SPECIFICATIONS. PROTECT MEMBRANE WITH 'PROTECTION BOARD II' BY DOW CHEMICALS.
- SLOPE SLAB TO DRAIN A MIN. OF 1% FINISH UNDERSIDE OF SLAB AT INTERIOR AS SPEC'D.

LATERAL SUPPORT OF FOUNDATION WALLS:

- ANCHOR PRESSURE TREATED 2 x 6 SILL PLATE TO TOP OF FOUNDATION WALL WITH 1/2" ANCHOR BOLT, EMBEDDED 4" INTO CONCRETE AT 4'-0" o.c. MAX.

KEEPING TILE:

- PROVIDE 4% TILE ALONG PERIMETER OF FOUNDATION WALL / FOOTING c/m CLOTH SOCK AND A MINIMUM OF 6" CRUSHED STONE COVER TO TOP AND SIDES (AS PER SUBSECTION 9.14.3 O.B.C.)

VAPOUR BARRIER

VAPOUR BARRIER NOTE:

VAPOUR BARRIER TO RUN CONTINUOUSLY ON THE WARM SIDE OF THE INSULATION THROUGHOUT ALL CONSTRUCTION IN BUILDING. ENSURE PROPER TIE-IN AT ALL CONNECTIONS. LAP VAPOUR BARRIER 6" AGAINST SOLID BLOCKING c/m CONTINUOUS BEAD OF 'TREMCO' ACOUSTICAL SEALANT AND STAPLE SECURELY. CAREFULLY FOLD VAPOUR BARRIER AROUND WINDOW AND DOOR OPENING. SEAL AND STAPLE TO FRAMING. PATCH ALL LEAKS AROUND CABLES, DUCTS OR PIPES WITH SUITABLE ACOUSTICAL SEALANT OR TAPE.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB SITE BEFORE PROCEEDING WITH WORK.
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DRAWINGS NOT TO BE SCALED.

ARCHITECTURAL
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the Building Code
Brodley Abbott 24558
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code
WB Abbott Design Ltd. 32426
FIRM NAME BCIN

STRUCTURAL
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NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code
FIRM NAME BCIN

NO.	DATE	DESCRIPTION
REVISIONS		

ABBOTT DESIGN LTD.
T 416-944-2898
F 416-944-0643
220 - 542 MI. PLEASANT RD.
TORONTO, ONTARIO M4S 2M7

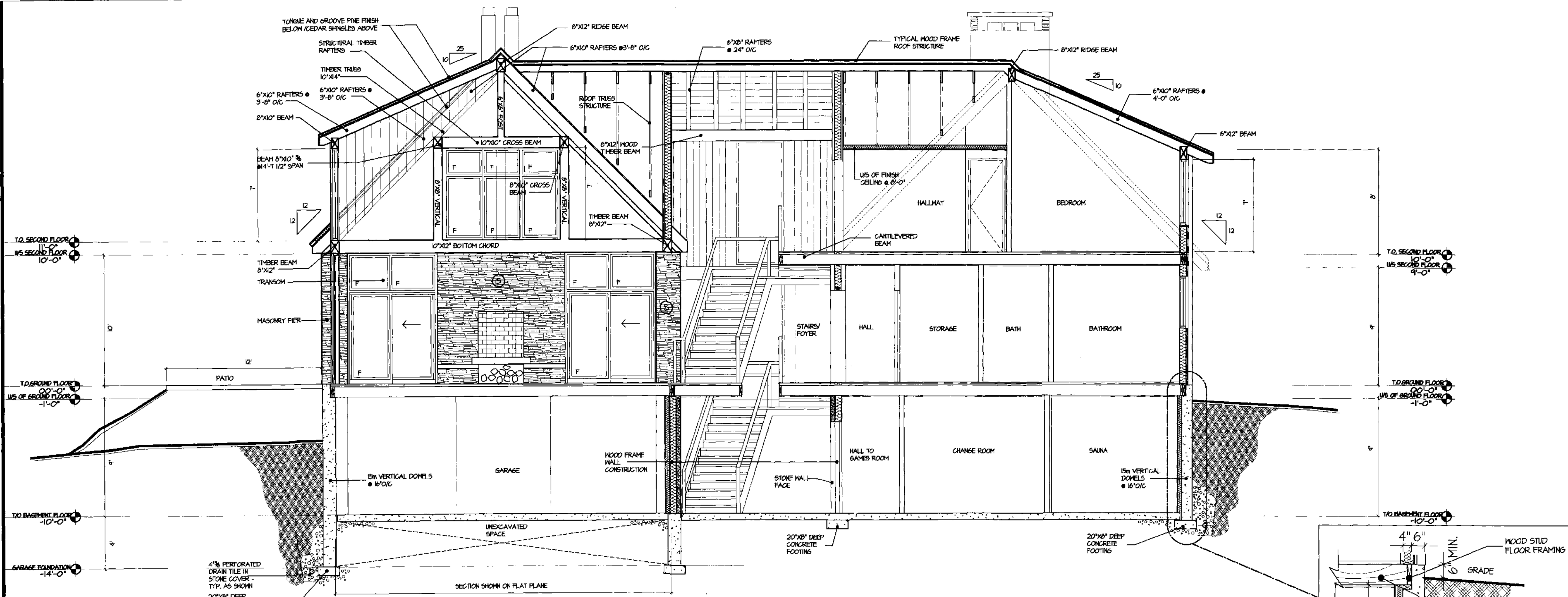
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WILLIS HOMES, LOT 12
GEORGIAN BAY CLUB,
TOWN OF THE BLUE MOUNTAINS

SHEET TITLE
BUILDING SECTION

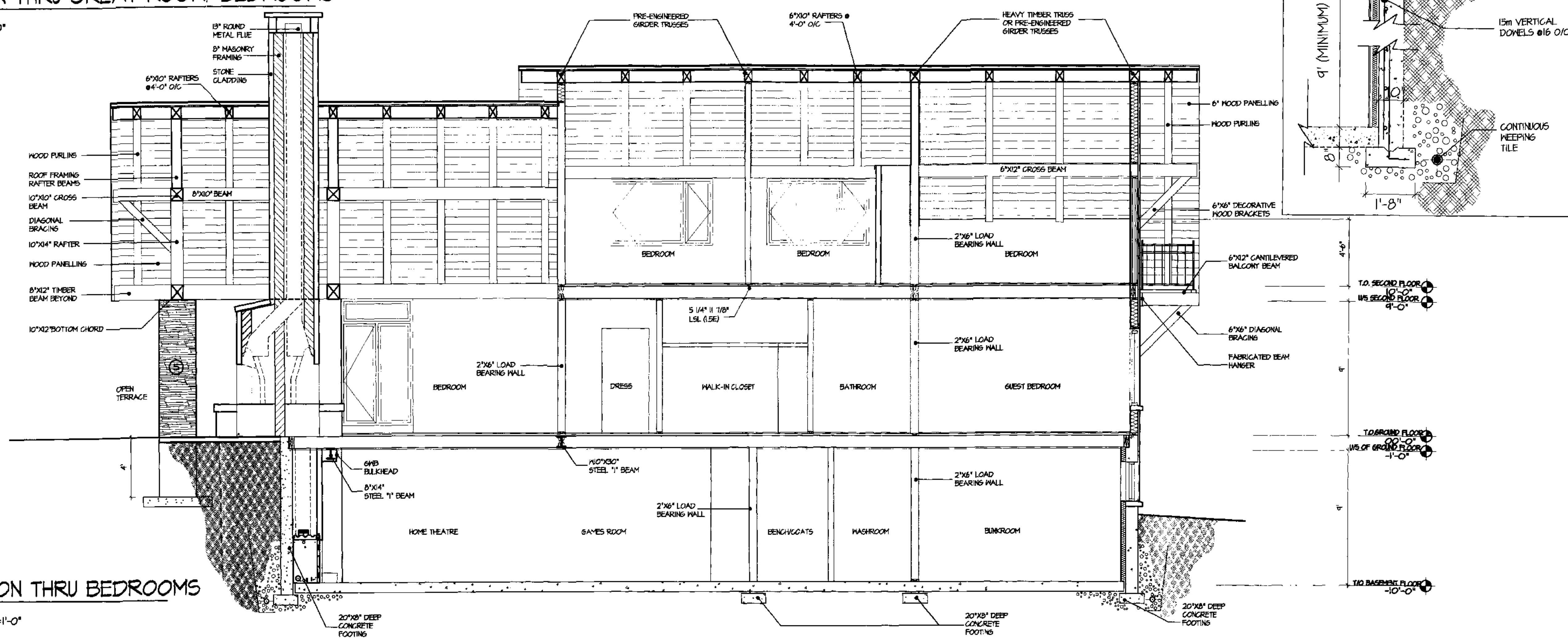
GEORGIAN BAY CLUB

DRAWN BY	DATE
HM	10 MAR-06
CHECKED BY	DATE
WBA	10 MAR-06
SCALE	FILE
1/4" = 1'-0"	XXXXXX

PROJECT NO. DRAWING NO.
XXXX A.09



1 SECTION THRU GREAT ROOM/ BEDROOMS
SCALE 1/4"=1'-0"



2 SECTION THRU BEDROOMS
SCALE 1/4"=1'-0"

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QUALIFICATION INFORMATION
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Bradley Abbott 24558
NAME SIGNATURE BCN
REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code
WB Abbott Design Ltd. 3247H
FIRM NAME BCN

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NAME SIGNATURE BCN
REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code
FIRM NAME BCN

NO.	DATE	DESCRIPTION

abbott
INSPIRED HOME DESIGNS

ABBOTT DESIGN LTD.
T 416-944-2898
F 416-944-0643
200 - 542 MI. PLEASANT RD.
TORONTO, ONTARIO M4S 2M7

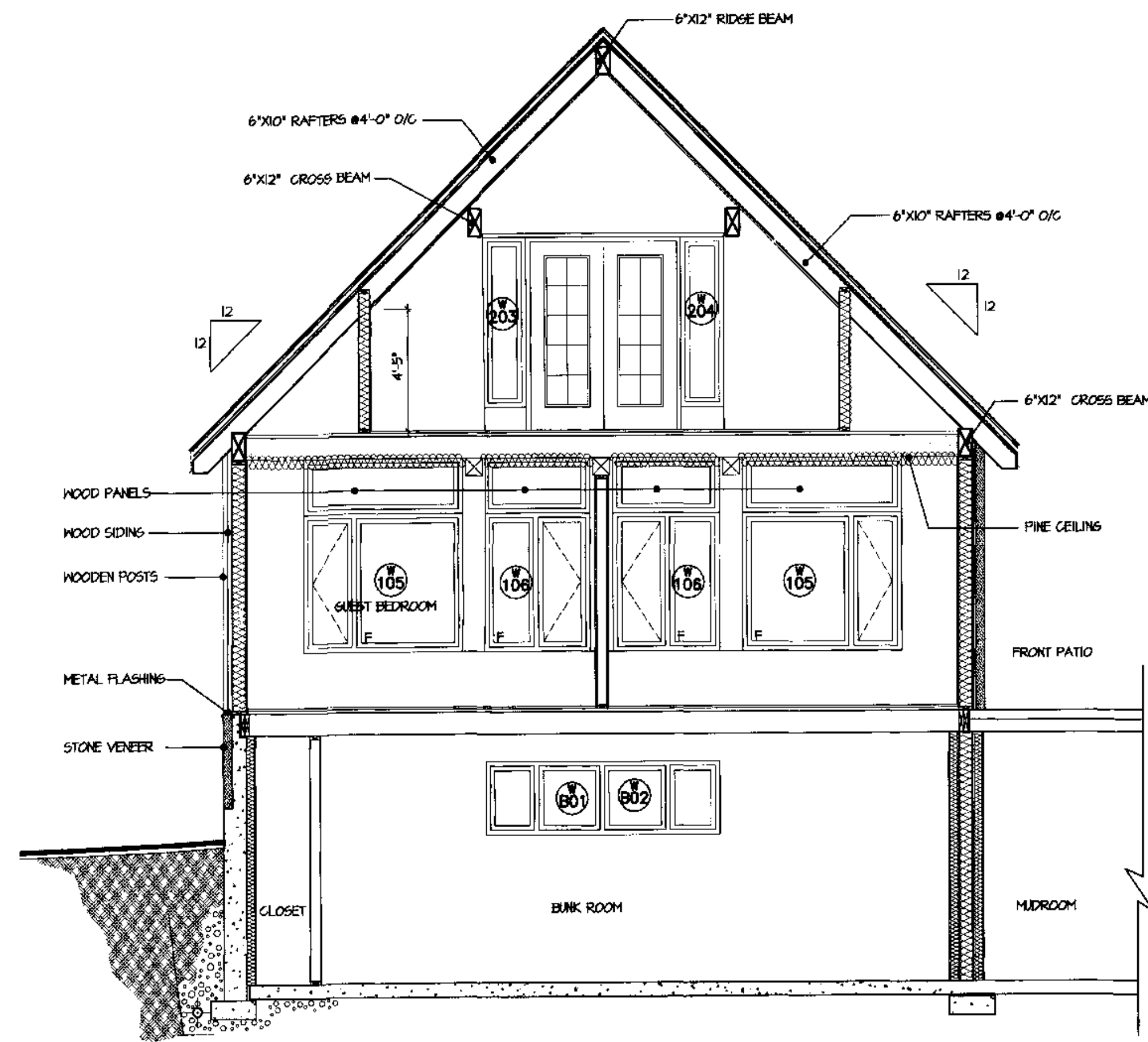
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WILLIS HOMES, LOT 12
GEORGIAN BAY CLUB,
TOWN OF THE BLUE MOUNTAINS

SHEET TITLE
BUILDING SECTION
GEORGIAN BAY CLUB

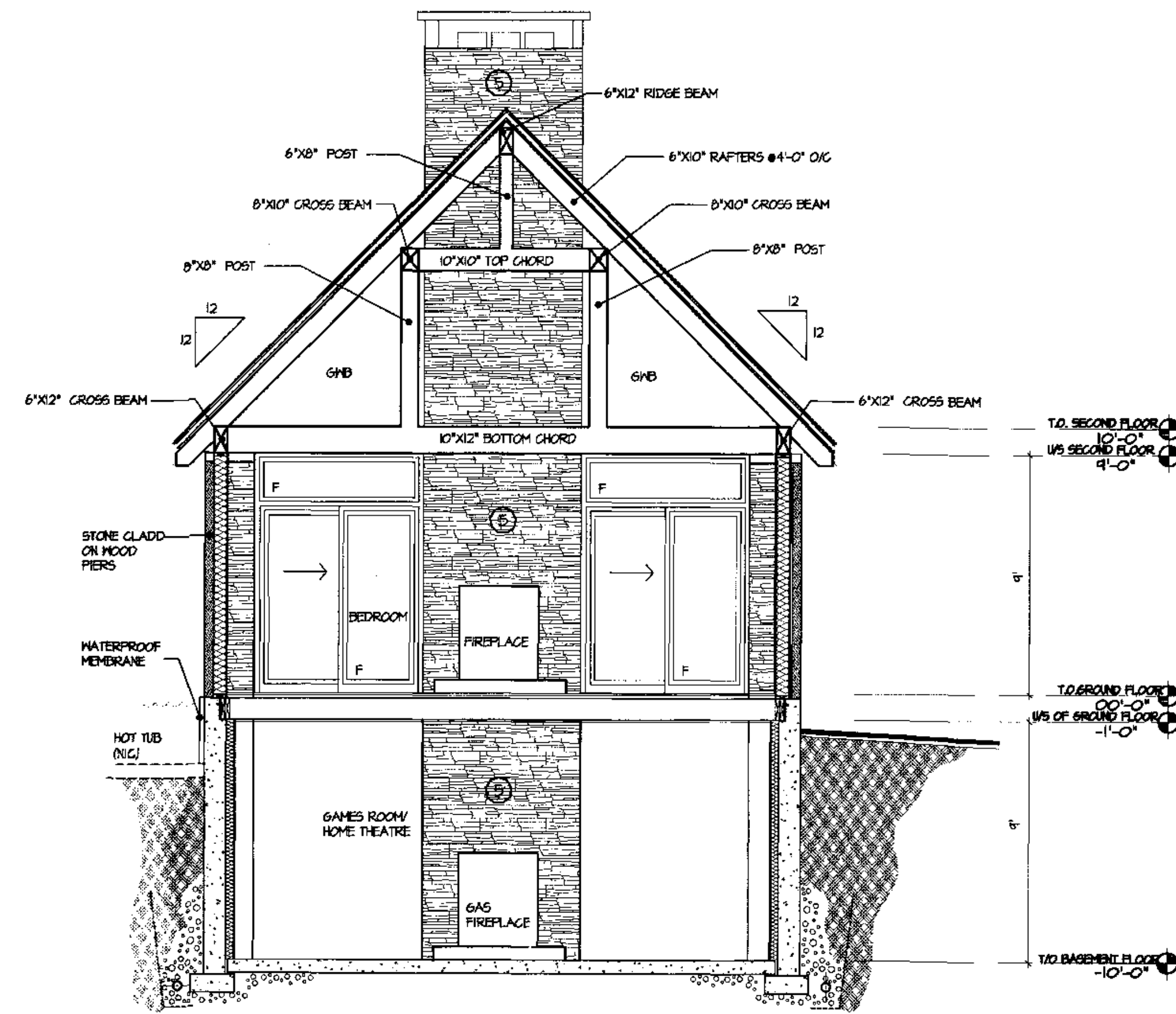
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CHECKED BY WBA	DATE 10 MAR-06
SCALE 1/4" = 1'-0"	FILE XXXXXX

PROJECT NO.
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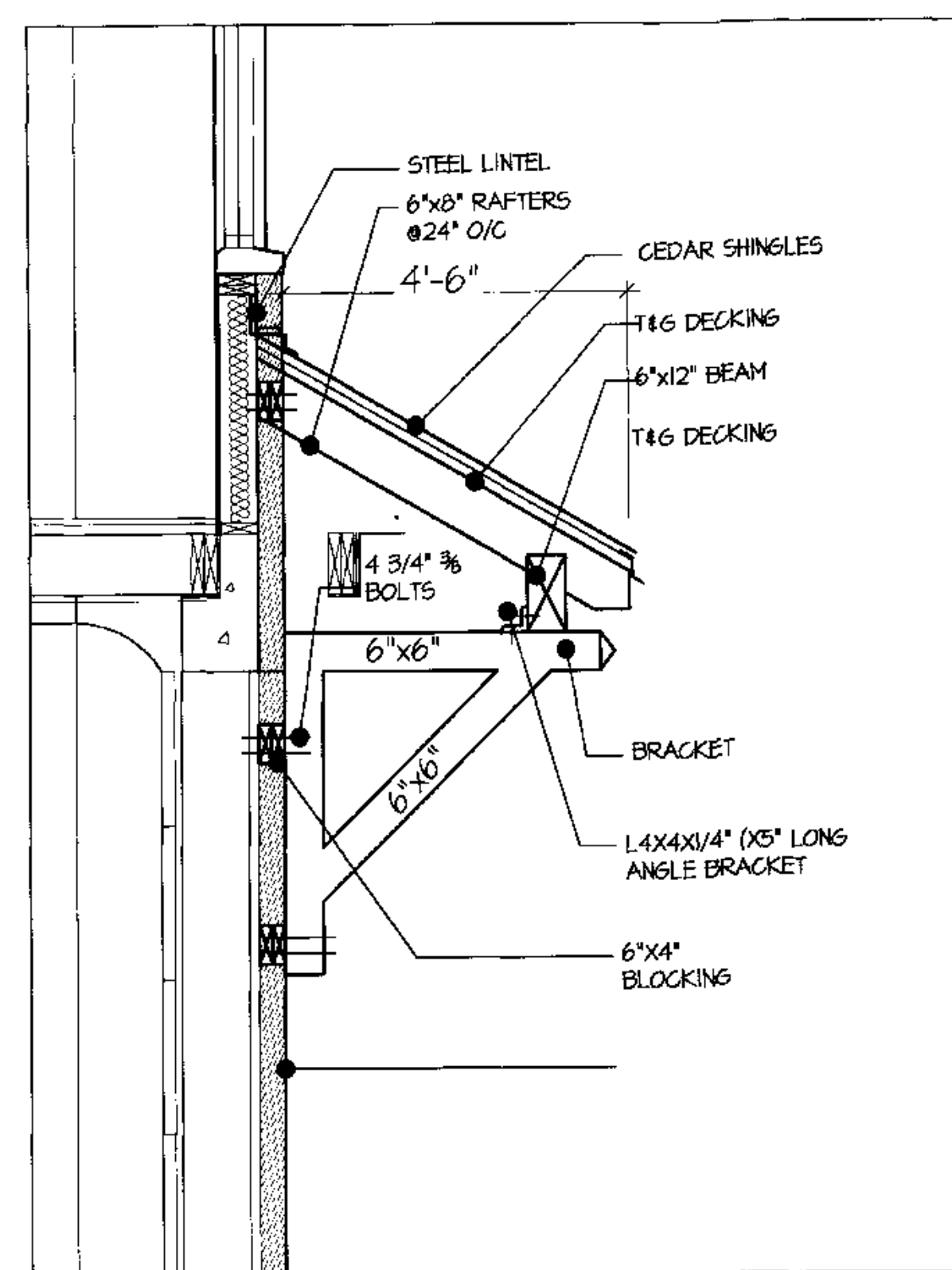
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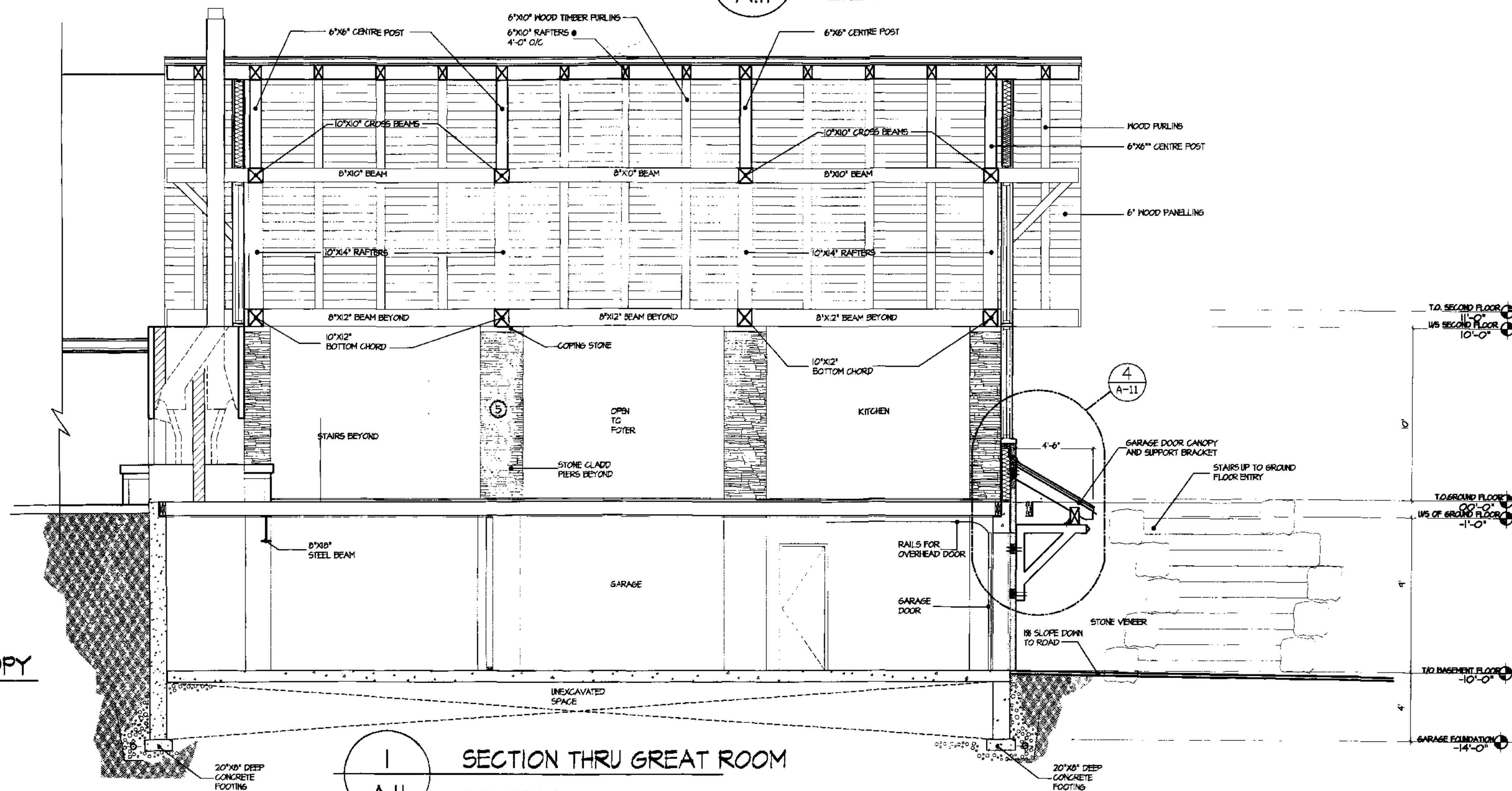
3 SECTION THRU OFFICE/ BEDROOM
A.II SCALE 1/4"=1'-0"



2 SECTION THRU HIGH ROOF
A.II SCALE 1/4"=1'-0"



4 SECTION THRU GARAGE CANOPY
A.II SCALE 1/2"=1'-0"



1 SECTION THRU GREAT ROOM
A.II SCALE 1/4"=1'-0"

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QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code

Broddy Abbott 24558

NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code

WB Abbott Design Ltd. 32428

FIRM NAME BCIN

STRUCTURAL
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NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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FIRM NAME BCIN

NO.	DATE	DESCRIPTION

REVISIONS

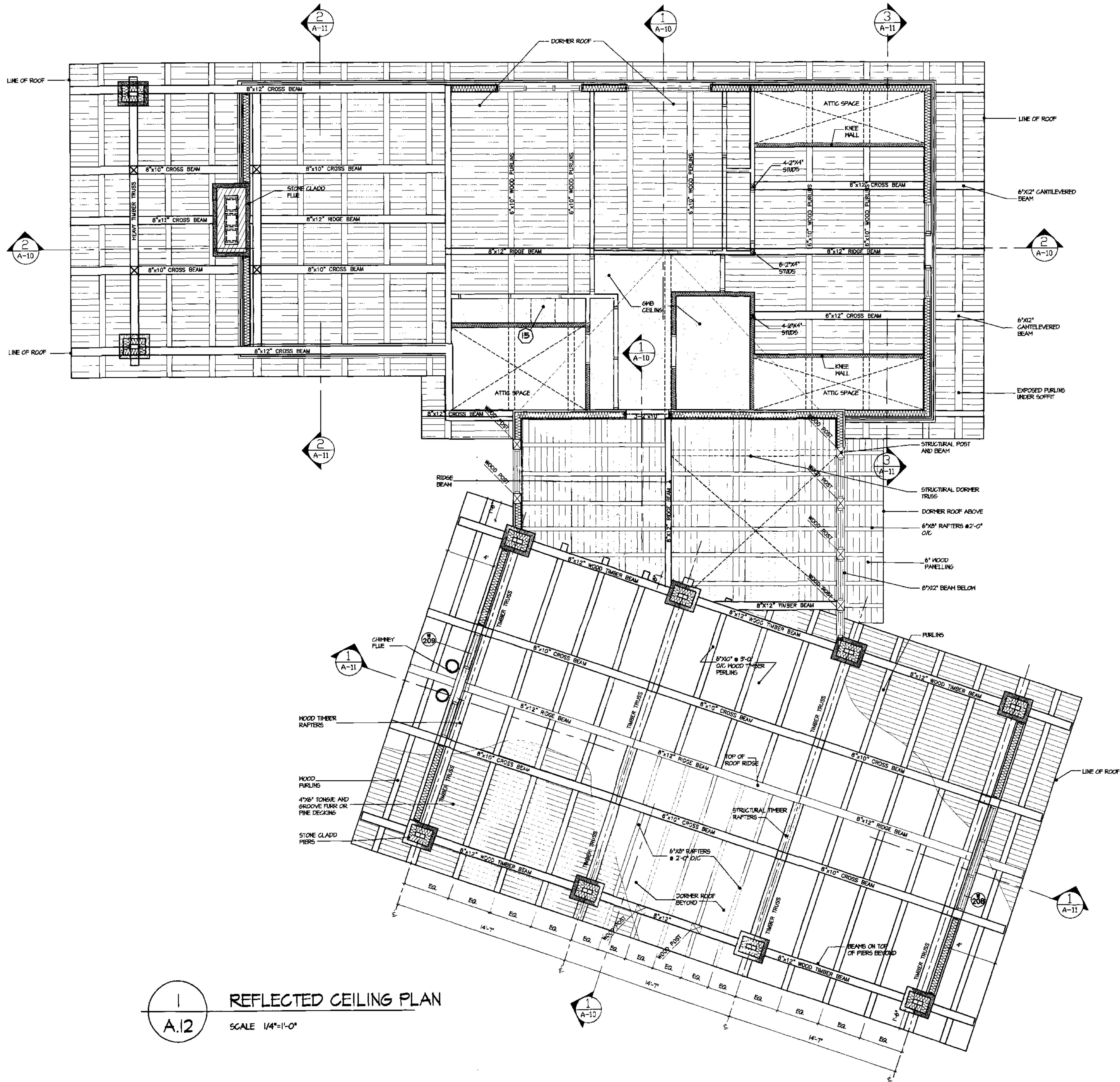
PROJECT TITLE
WILLIS HOMES, LOT 12
GEORGIAN BAY CLUB,
TOWN OF THE BLUE MOUNTAINS

SHEET TITLE
BUILDING SECTION

GEORGIAN BAY CLUB

DRAWN BY JHM	DATE 10 MAR-06
CHECKED BY WFA	DATE 10 MAR-06
SCALE 1/4" = 1'-0"	FILE XXXXXXX

PROJECT NO. XXXX	DRAWING NO. A.11
---------------------	---------------------



1 REFLECTED CEILING PLAN
A.12 SCALE 1/4"=1'-0"

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Bradley Abbott 24558
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code
WB Abbott Design Ltd. 32428
FIRM NAME BCIN

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REGISTRATION INFORMATION
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FIRM NAME BCIN

NO.	DATE	DESCRIPTION
REVISIONS		

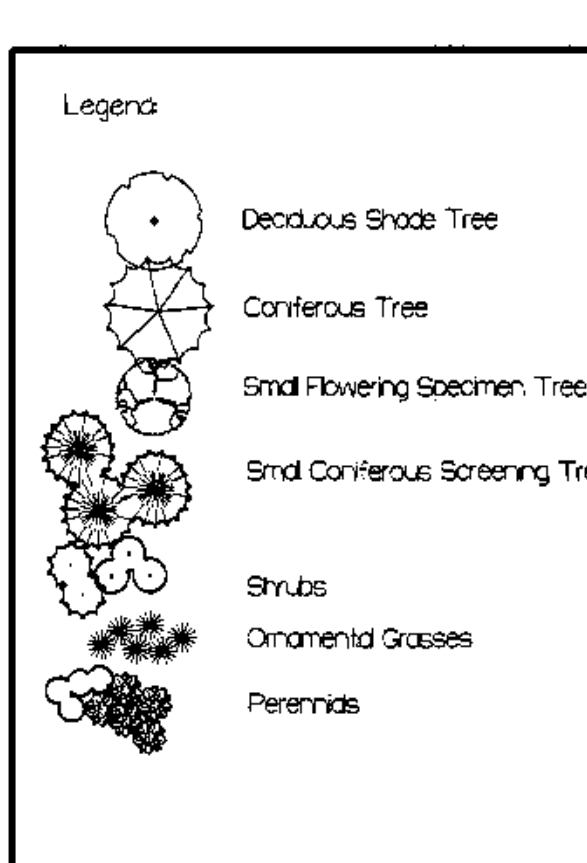
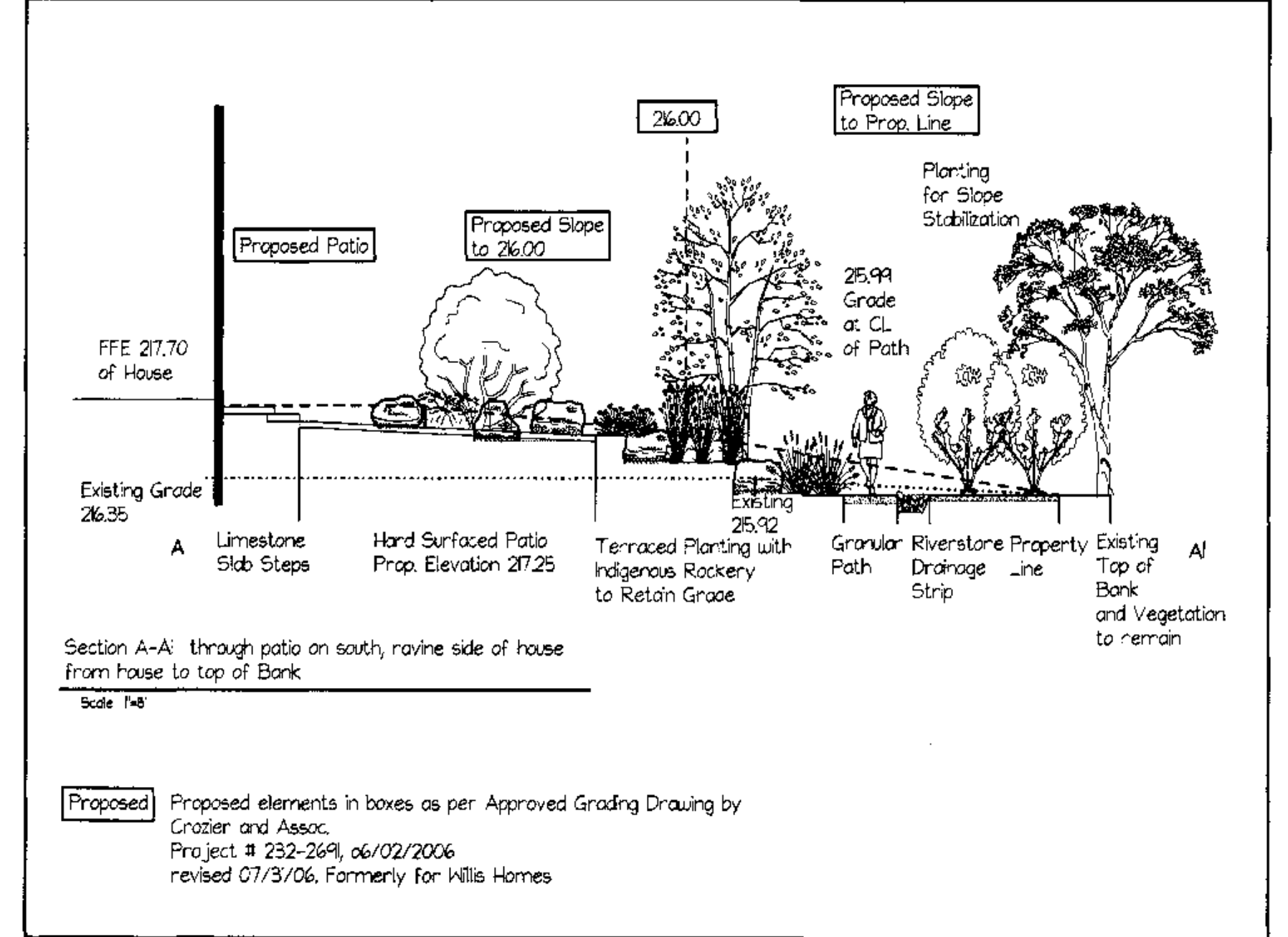
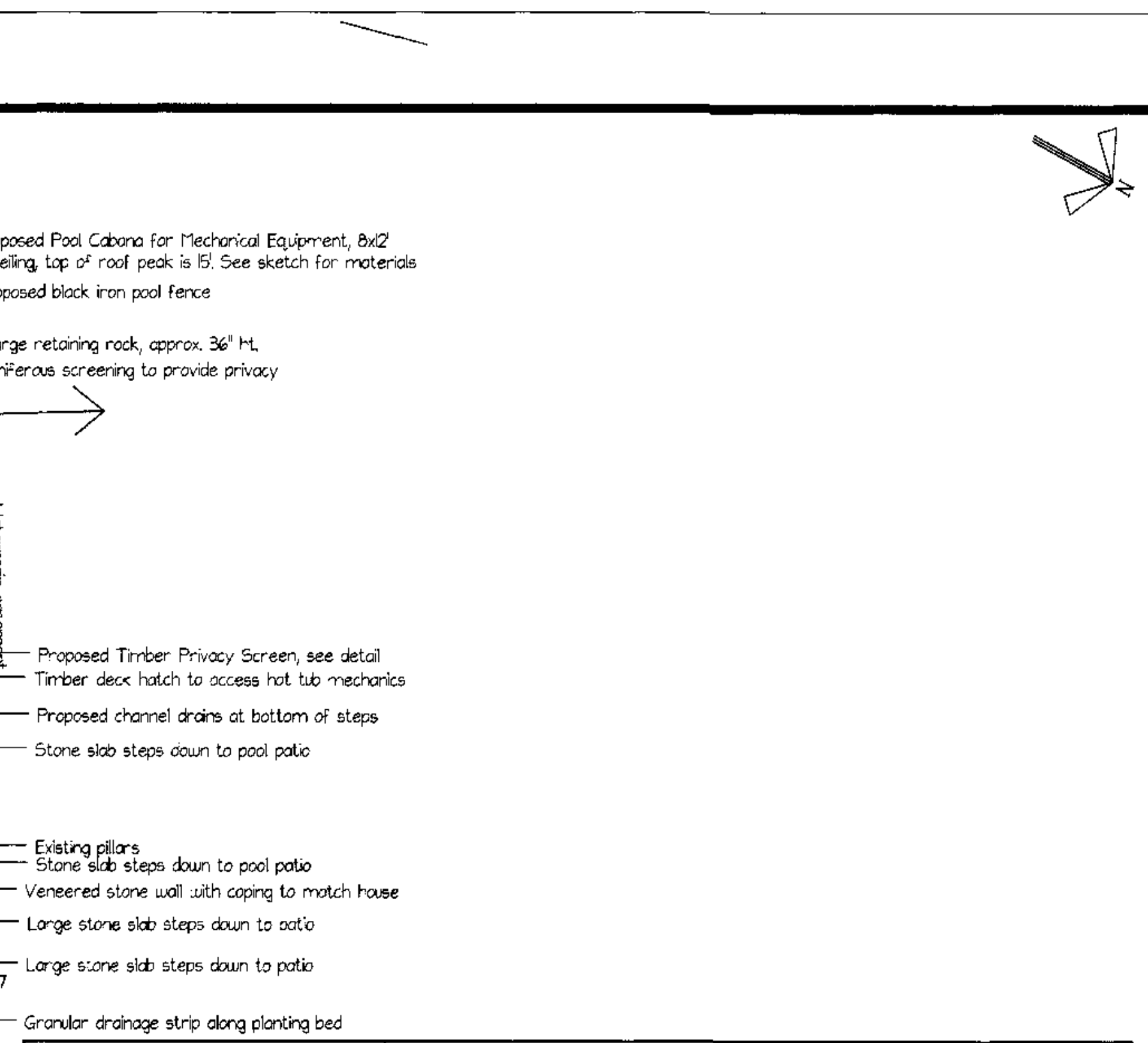
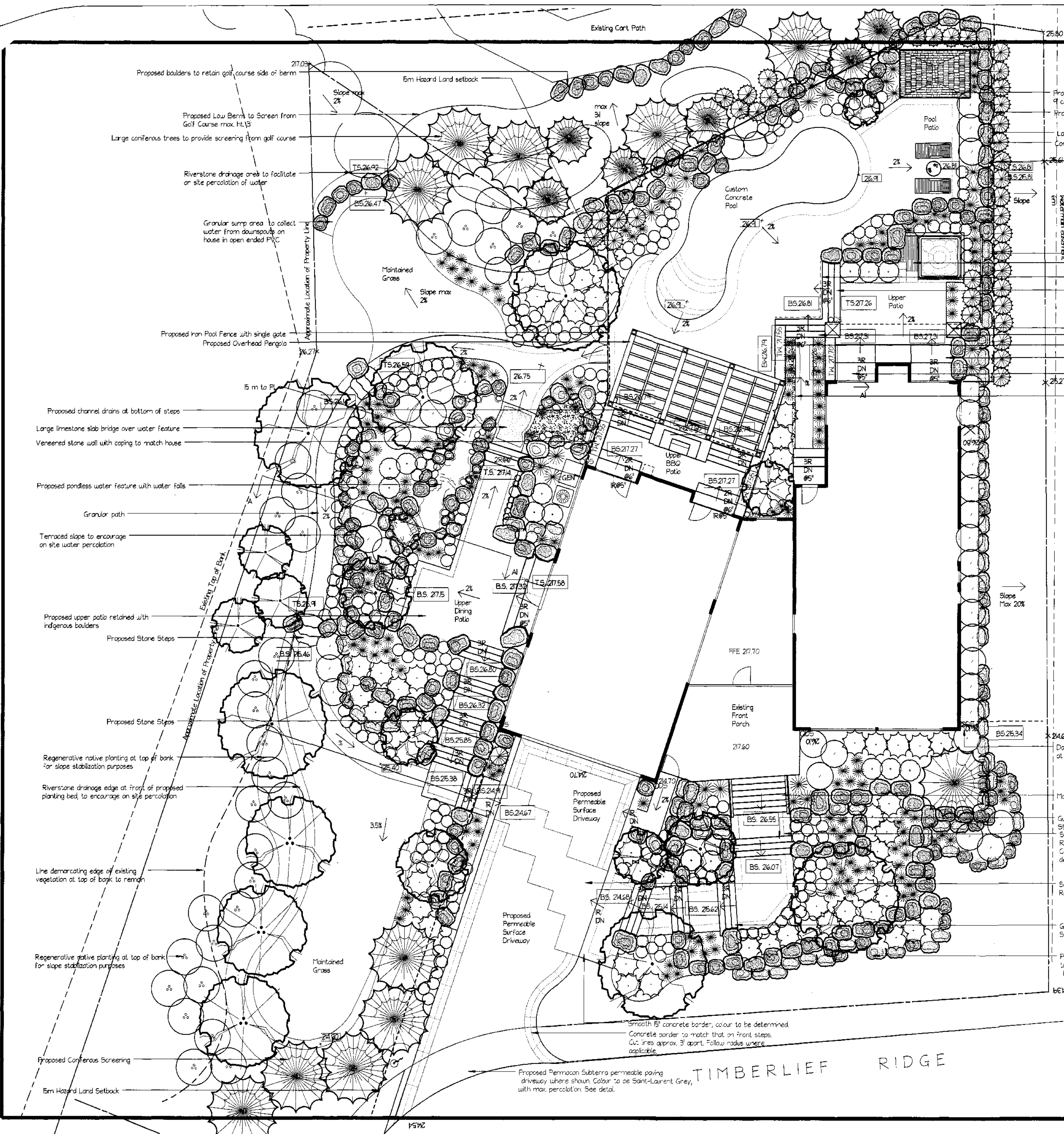
abbott
INSPIRED HOME DESIGNS
ABBOTT DESIGN LTD.
1 416 944 2898
F 416 944 0513
200 - 542 M. PLEASANT RD.
TORONTO, ONTARIO M4S 2M7

PROJECT TITLE
WILLIS HOMES, LOT 12
GEORGIAN BAY CLUB,
TOWN OF THE BLUE MOUNTAINS

SHEET TITLE
REFLECTED CEILING PLAN
GEORGIAN BAY CLUB

DRAWN BY	DATE
WBA	10 MAR-06
CHECKED BY	DATE
WBA	10 MAR-06
SCALE	FILE
1/4" = 1'-0"	XXXXXXX

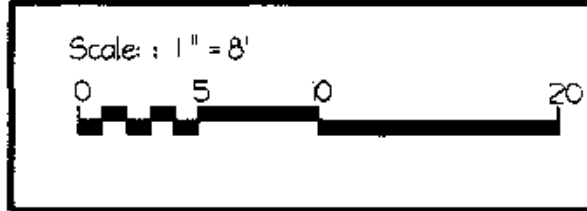
PROJECT NO. DRAWING NO.
XXXX A.12



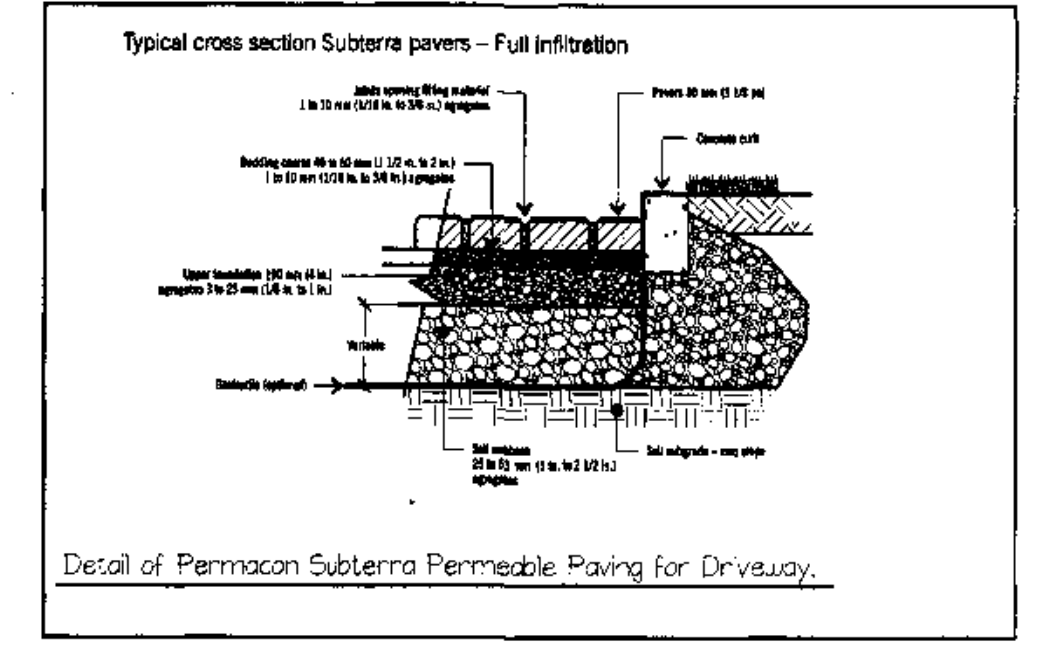
LANDSCAPE PLAN LI

VOGEL
LANDSCAPE DESIGN
AND CONSULTING GROUP LTD.
#5-Sub 203, 241 Finc Street, Collingwood, ON L9Y 6S3
Phone: 705-461-8000 www.vogelandscape.com

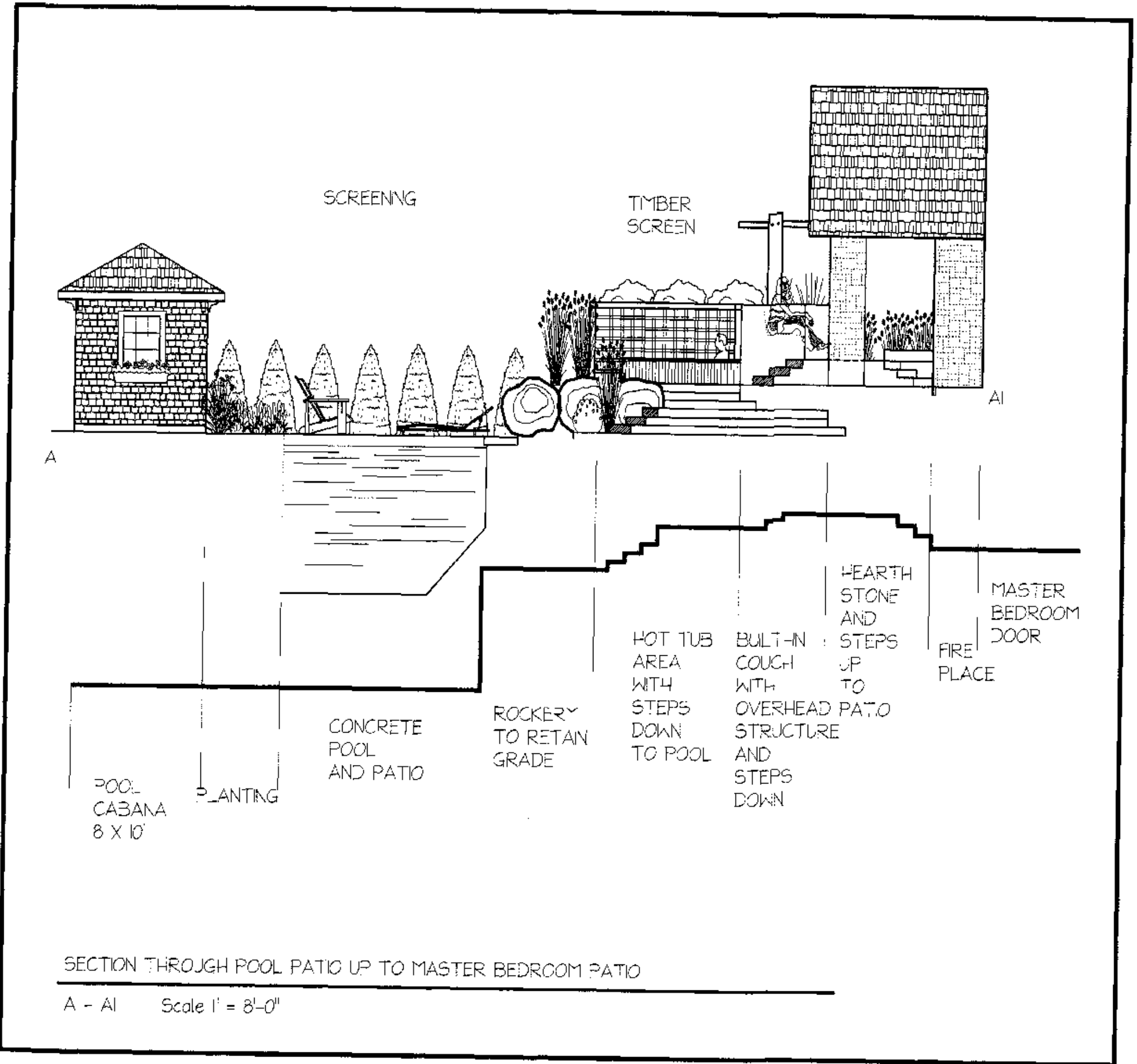
Designer: RVP/PH Date: August 28, 2009
Drawn By: PH Revision Date: March 1, 2010

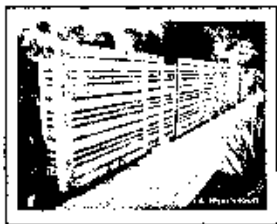
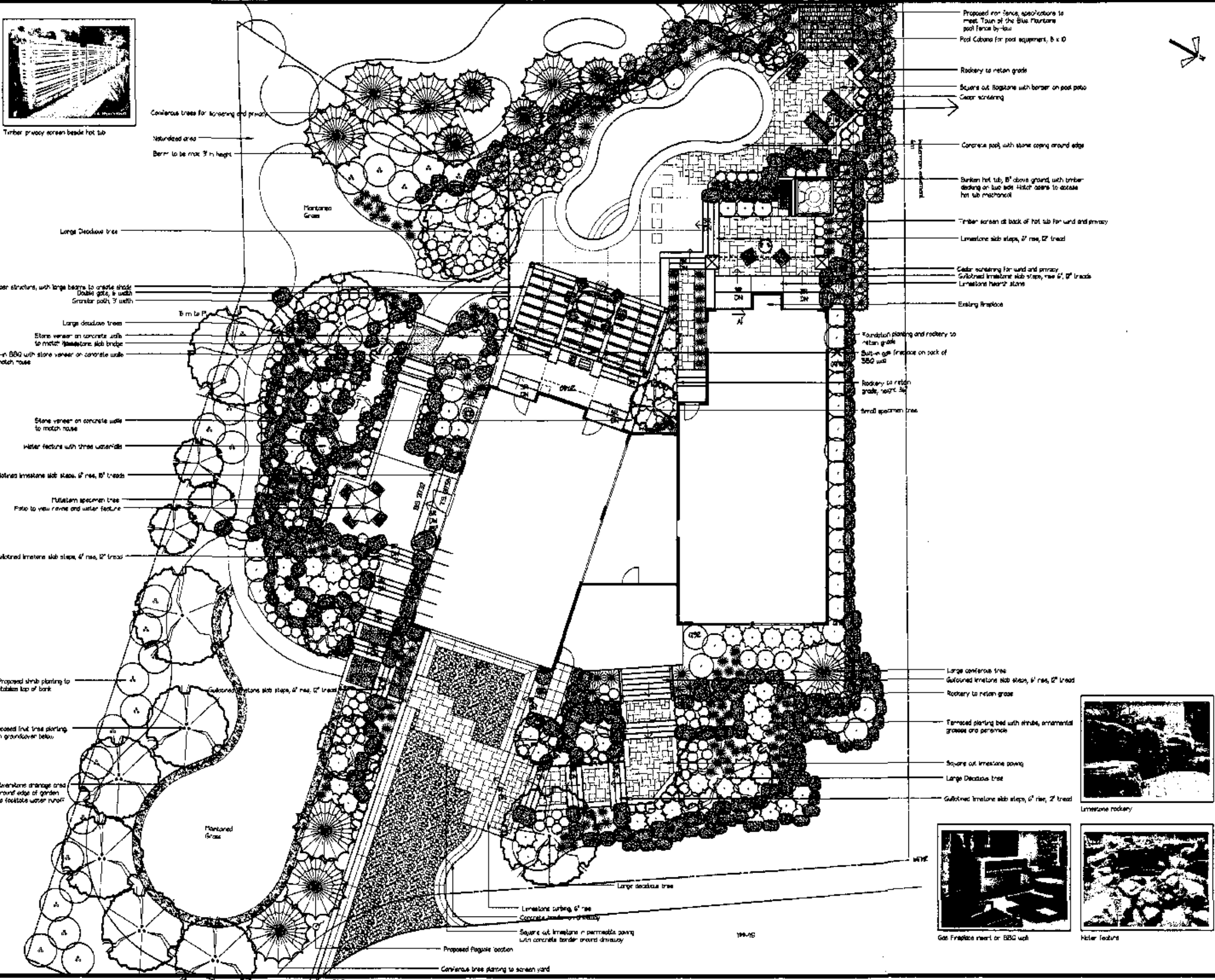


Client:
RESIDENCE
Address:
122 Timberlief Ridge
Town of The Blue Mountains, ON



TIMBERLIEF RIDGE





Legend

- Deciduous Shade Tree
- Coniferous Tree
- Small Flowering Specimen Tree
- Small Coniferous Screening Tree
- Shrub
- Ornamental Grasses
- Perennial

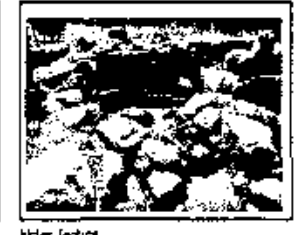
CONCEPT PLAN

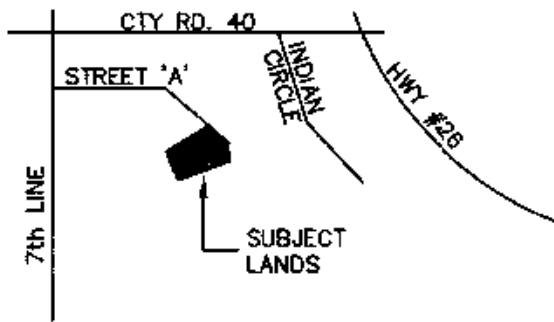
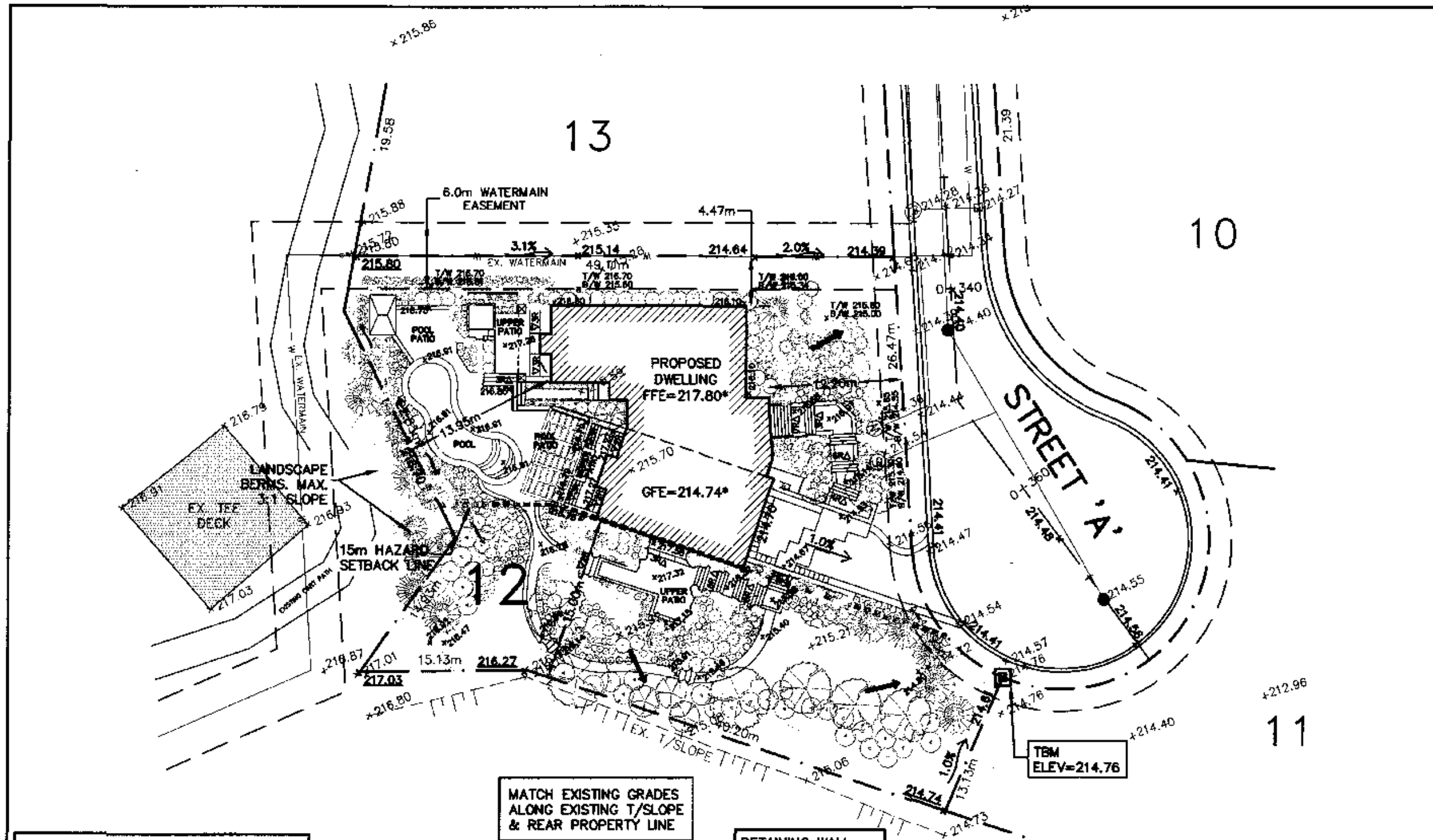
VOGEL
 LANDSCAPE ARCHITECTURE
 44 Glen Hill Parkway, Suite 101
 Shelburne, ON L7M 2E8
 519-536-8888
 www.vogellandscape.com

Design: 10/11/11 Drawn By: M1 Date: August 26, 2020 Revision Date: October 16, 2021

Scale: 1" = 5'

Client:
RESIDENCE
 Address:
 122 Timberleaf Ridge
 Town of The Blue Mountains, ON





KEY PLAN

NOTES:

- 1) ALL MEASUREMENTS ARE IN METRES. TO CONVERT TO IMPERIAL, MULTIPLY BY 3.2808.
- 2) CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME. ANY DISCREPANCIES IN ELEVATIONS MUST BE REPORTED TO THIS OFFICE.
- 3) ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

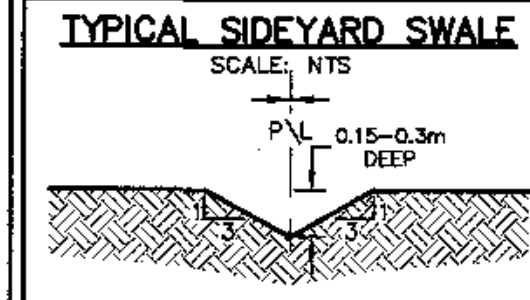
BENCHMARK
 LOCAL BENCHMARK: ELEV.=214.76
 TOP OF IRON BAR (IB) LOCATED @ THE SOUTHERLY FRONT PROPERTY CORNER.

- DESIGN CRITERIA**
- 1) 0.20m (8") THICK FOOTING
 - 2) 3.05m (10") FROM BFE TO FFE
 - 3) 0.20m (8") MIN. FROM GROUND TO TFDN
 - 4) 1.2m (4'-0") MIN. FROM GROUND TO USF

- LEGEND**
- +223.21 EXISTING ELEVATION
 - +99.70 MATCH EXISTING ELEVATION
 - +99.70 PROPOSED ELEVATION
 - ← PROPOSED GRASS SWALE (0.15m-0.30m DEEP)
 - DRAINAGE DIRECTION
 - ⊙ EXISTING WATER SERVICE
 - ⊙ EXISTING SANITARY SERVICE
 - [---] MAX. 3:1 PROPOSED SLOPE
 - Δ4R NUMBER RISERS (PER LANDSCAPE PLAN)
 - TW 215.70 TOP RETAINING WALL ELEV.
 - BW 214.70 BOTTOM RETAINING WALL ELEV.

LANDSCAPE PLAN PREPARED BY VOGEL LANDSCAPE GROUP, DATED AUG. 26/09, REV. MAR. 29/10.

HOUSE ELEVATIONS & SITE PLAN PREPARED BY: ABBOTT DESIGN LTD. CONTRACTOR TO VERIFY HOUSE ELEVATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION.



PRIOR TO FOOTING EXCAVATION CONTRACTOR/OWNER TO CONFIRM BUILDING SETBACKS CONFORM WITH ZONING BY-LAW.

FOOTINGS TO HAVE MIN. 1.2m (4') COVER.

CAUTION
 ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

CONTRACTOR TO VERIFY GROUND WATER ELEVATION AND EX. SANITARY SERVICE INVERT PRIOR TO FOOTING EXCAVATION. IF GROUND WATER ELEVATION AND/OR EX. SANITARY SERVICE INVERT IS HIGHER THAN PROPOSED FOOTING ELEVATION, CONTRACTOR TO NOTIFY ENGINEER.

PROPOSED NEW RESIDENCE

FINISHED FLOOR ELEV. (FFE)	*217.80
BASEMENT FLOOR ELEV. (BFE)	214.75
TOP OF FOUNDATION ELEV. (TFDN)	217.50
UNDERSIDE OF FOOTING ELEV. (USF)	214.40
GARAGE FLOOR ELEV. (GFE)	*214.74
GARAGE UNDERSIDE OF FOOTING ELEV. (GUFE)	213.50

* AS CONSTRUCTED SURVEY COMPLETED BY CROZIER, APR. 21/10.

RETAINING WALL DESIGN BY OTHERS.

MATCH EXISTING GRADES ALONG EXISTING T/SLOPE & REAR PROPERTY LINE

TOWN

ENGINEER

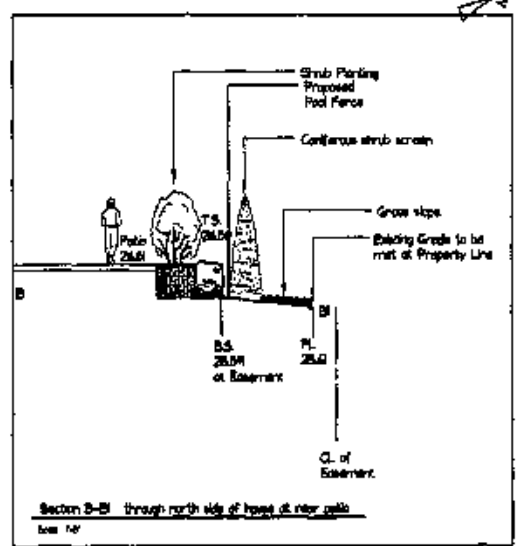
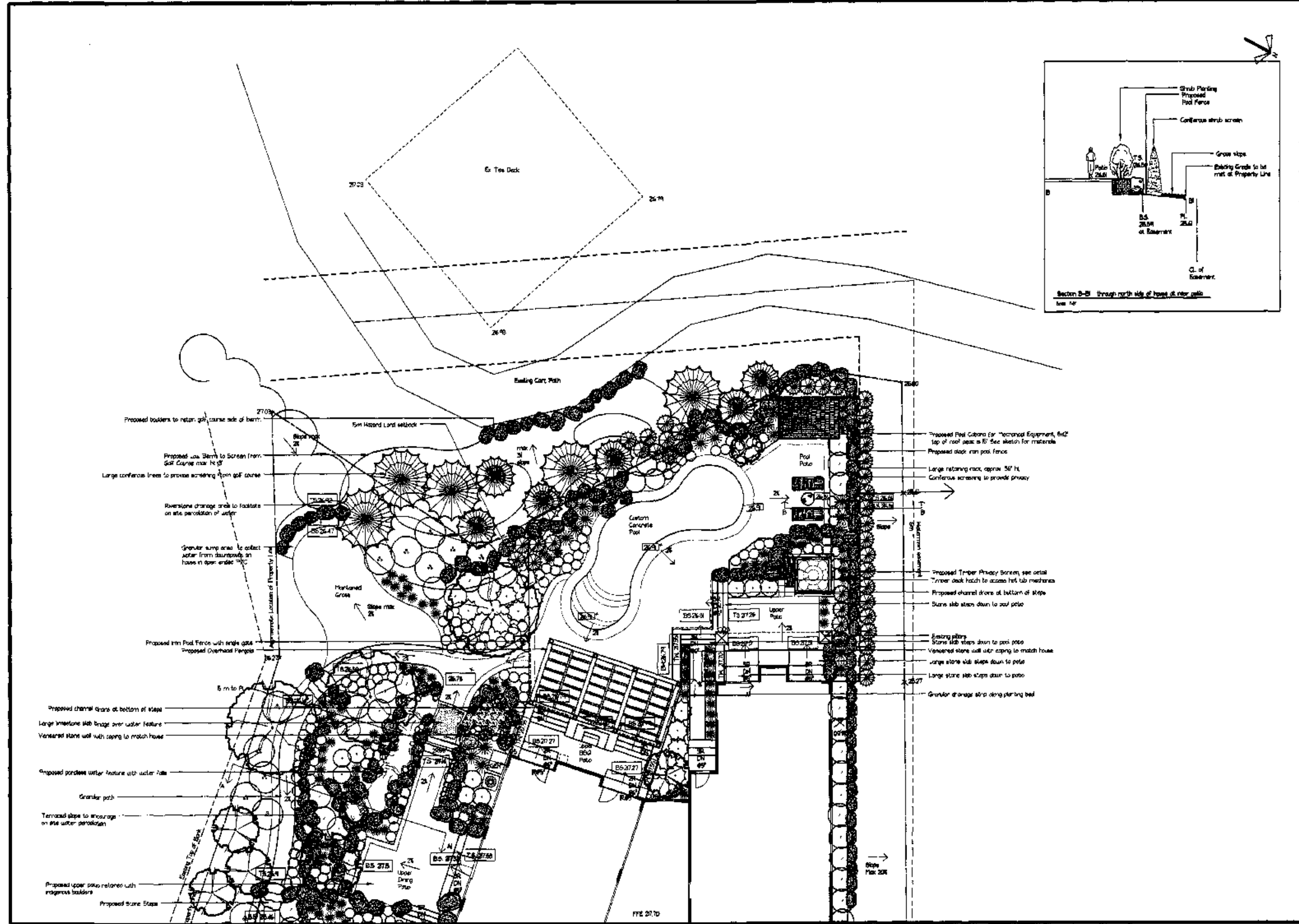
 K. A. MORRIS

CROZIER & ASSOCIATES ENGINEERS

110 PINE STREET, COLLINGWOOD, ON L9Y 2N9
 705 448-3510 T
 705 448-3520 F
 WWW.CFCROZIER.CA
 INFO@CFCROZIER.CA

No.	REVISION	DATE
1	FOR REVIEW	06/07/06
2	FOR APPROVAL	06/13/06
3	ADDED HAZARD SETBACK LINE	07/31/06
4	ADDED LANDSCAPE WORKS	04/27/10

PROJECT	TOWN OF THE BLUE MOUNTAINS	DRAWN BY L.T.M.	PROJECT No. 232-2691
TITLE	LOT 12 - GEORGIAN BAY CLUB LOT GRADING PLAN	DATE 06/02/2006	SCALE 1:400
		DRAWING No.	LG1

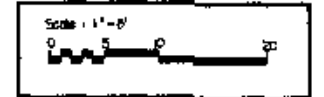


- Legend
- Deciduous Shrub Tree
 - Coniferous Tree
 - Small Flowering Shrub Tree
 - Small Coniferous Shrub Tree
 - Shrub
 - Ornamental Grasses
 - Perennials

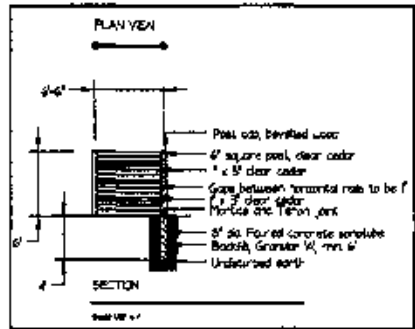
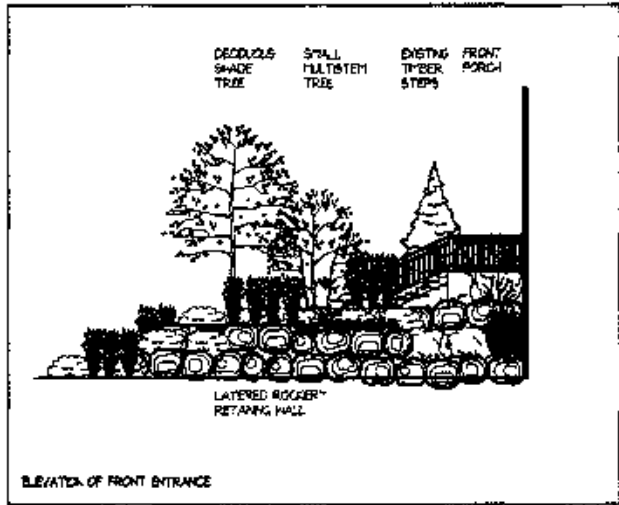
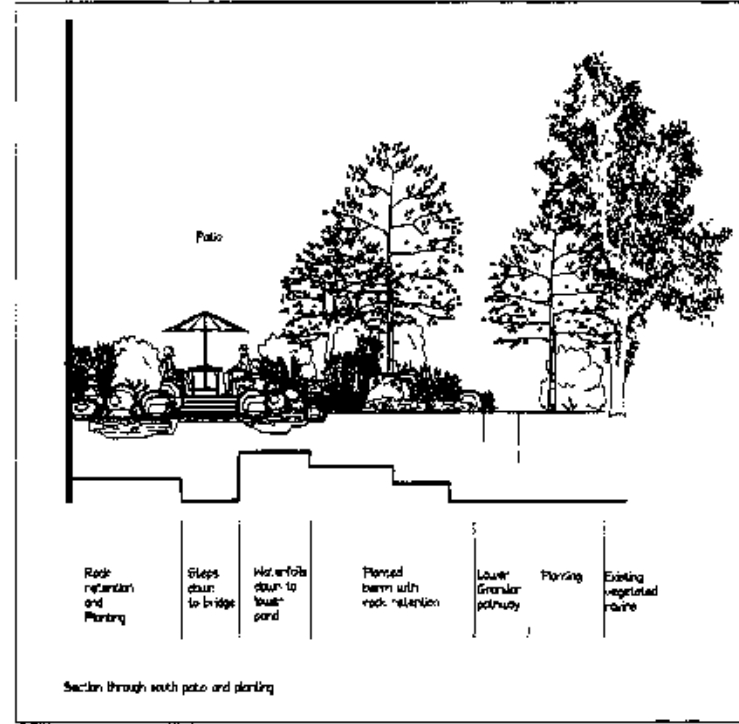
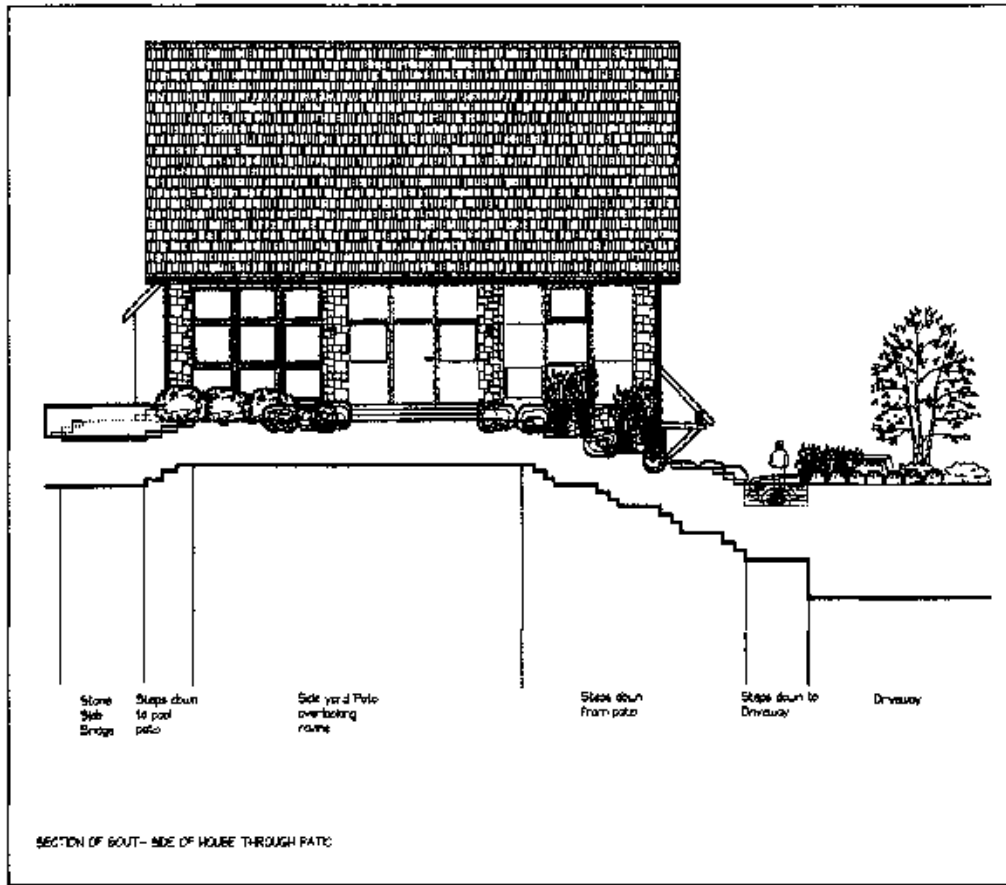
LANDSCAPE
PLAN
L2



Design: 10/07 Date: August 08, 2008
 Drawn By: JF Scale: 1/4" = 1'-0"



Client:
RESIDENCE
 Address:
 E2 Timberleaf Ridge
 Town of The Blue Mansions, OH

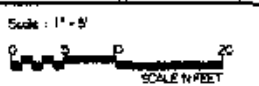


Legend

SECTIONS AND DETAILS



Design: PJ
Drawn By: PJ
Date: 09/20/2014
Sheet: 02 of 02



Client:
RESIDENCE
Address:
02 Timberline Ridge
Town of The Blue Mountains, ON



SURVEYOR'S REAL PROPERTY REPORT
(PART 1) PLAN OF
LOT 12
REGISTERED PLAN 16M-6
 (GEOGRAPHIC TOWNSHIP OF COLLINGWOOD)
TOWN OF THE BLUE MOUNTAINS
COUNTY OF GREY

SCALE 1:300



ZUBEK, EMO, PATTEN & THOMSEN LTD.
2007

METRIC

DISTANCES ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

PART 2

THIS PLAN MUST BE READ IN CONJUNCTION WITH SURVEY REPORT DATED FEBRUARY 15, 2007

NOTES:

BEARINGS HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE BEARING OF THE NORTHERLY LIMIT OF LOT 12, REGISTERED PLAN 16M-6 BEING N67°29'20"E IN ACCORDANCE THEREWITH.

- ⊕ DENOTES SET
- DENOTES FOUND
- ⊕ S.I.B. DENOTES STANDARD IRON BAR
- ⊕ I.B. DENOTES IRON BAR
- ⊕ S.S.I.B. DENOTES SHORT STANDARD IRON BAR
- ⊕ C.C. DENOTES CUT CROSS

THIS REPORT WAS PREPARED FOR WILLIS HOMES AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES

NOTE

NO ADDITIONAL PRINTS OF THIS REPORT CAN BE ISSUED FROM THIS OFFICE WITHOUT A FIELD EXAMINATION AND UPDATING OF THE PLAN

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE 30TH DAY OF JANUARY 2007.

FEBRUARY 15, 2007

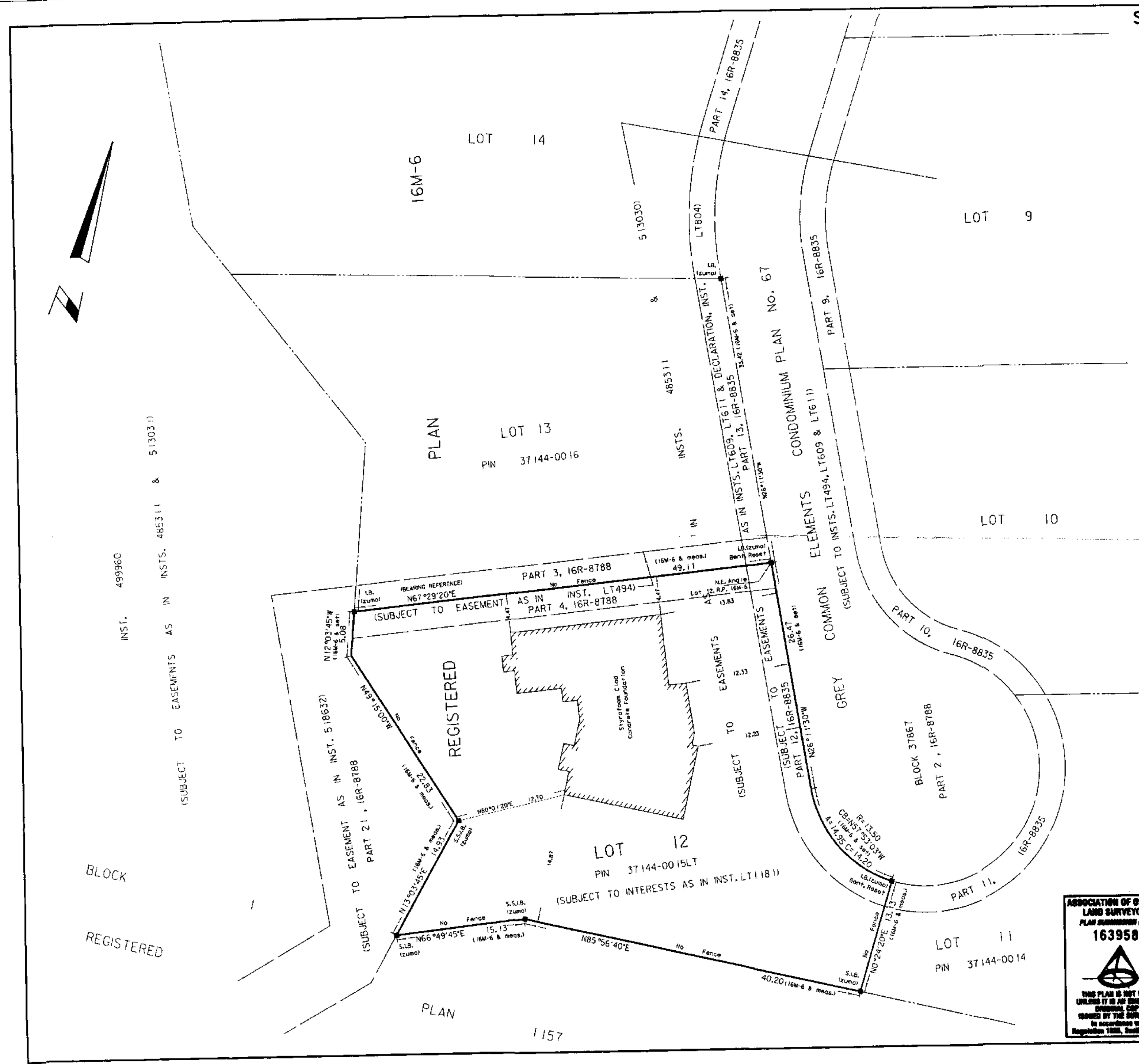
O.L.S.
 PAUL R. THOMSEN
 ONTARIO LAND SURVEYOR
 COLLINGWOOD



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ZUBEK, EMO
PATTEN & THOMSEN
 LIMITED
 39 STEWART ROAD
 COLLINGWOOD, ONTARIO L9Y 4M7
 PHONE: (705) 445-4910 FAX: (705) 445-5866

JOB No. 2005-13-5 SURVEY FOR: WILLIS HOMES



SURVEYOR'S REAL PROPERTY REPORT - PART TWO

February 15, 2007
Solicitor's Copy

ZUBEK, EMO
PATTEN
&
THOMSEN
LIMITED

**ONTARIO LAND
SURVEYORS**

Digital Topographic
and Property Mapping

Condominium &
Subdivision Consultants

39 Stewart Road
Collingwood, Ontario
L9Y 4M7

Phone (705) 445-4910

1-888-460-8153

Fax (705) 445-5866

Email: zumo@on.aibn.com

LYNN H. PATTEN

O.L.S.

PAUL R. THOMSEN

B.Sc., O.L.S.

RONALD J. EMO

B.A., O.L.S.

GEORGE J. ZUBEK

O.L.S., C.L.S.

1961-2002

**RE: LOT 12, REGISTERED PLAN 16M-6
(GEOGRAPHIC TOWNSHIP OF COLLINGWOOD)
TOWN OF THE BLUE MOUNTAINS
OUR FILE: 2005-13-5**

Dear Sir:

Further to your instructions to our office regarding having a survey prepared on the above noted property, we are pleased to report that this work is now complete. Accordingly, please find enclosed five prints of our plan which together with this report form our Surveyor's Real Property Report.

By way of a brief written report, I would advise that we found sufficient survey evidence remaining from previous surveys with which to re-establish the boundaries of the subject parcel. We laid out the position of the new dwelling at the usual stages of constructions, including on the ground, in the excavation and on the footings. We located the "as built" foundation and have shown this on our enclosed plan.

Our Land Registry Office search did indicate that the property was subject to various rights of way and easements. Part 12, 16R-8835 is subject to easements for Bell (LT609), Hydro One (LT611) and for Condo 67 (LT804). Lot 12 is also subject to easements for Union Gas (instrument 513030) and Rogers Cable (instrument 485311). The developer has reserved a easement and right of way over the lot. As a Parcel of Tied Land each lot has an undivided common interest in Grey Common Elements Condominium Corporation No. 67. Underground utilities were not located in the field and as such we cannot confirm the existence or location of same.

I recommend that you store prints of this plan and a copy of this letter in a safe place as we are unable to supply prints at a later date without updating our survey. I am taking this opportunity to submit our invoice herein.

If you have any questions regarding the enclosed, please contact our office. I would like to thank you for the opportunity to have been of service to you.

Yours truly,

ZUBEK, EMO, PATTEN & THOMSEN LTD.

PER:



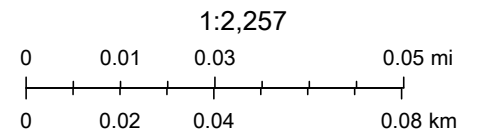
Paul R. Thomsen, B.Sc., O.L.S.

PRT/tla/encl./CAwp5\Net2007\WillisHomes1.wpd

Zoning Map - 122 Timber Leif Ridge



August 24, 2021



Roll Number	Address	Assessed Value	Acerage
424200001101417	122 Timber Leif Ridge	\$1565000	.53

Notice: Assessed value may not reflect current market value [MPAC](#)

NEC Designation	Legal Description	Property Use
Escarpment Recreation Area	PLAN 16M6 LOT 12	Single family detached (not on water)

Zoning
No Zoning Information





South Georgian Bay Roofing
109 Tucker St.
Meaford, ON N4L 1W7
519-373-3865

ΑΡΧΑΙΑ

ADDRESS

DATE

10 Year Guarantee on Workmanship

Subtotal

HST

Total

A service charge of 2% per month (26.8% per annum) will be charged
in accounts after 30 days from invoice date.